



*City of Caribou, Maine*

*Municipal Building  
25 High Street  
Caribou, ME 04736  
Telephone (207) 493-3324  
Fax (207) 498-3954  
www.cariboumaine.org*

**AGENDA  
Caribou Planning Board  
Special Meeting  
Wednesday, July 22, 2015 at 5:30 p.m.  
Caribou City Council Chambers**

- I. Call Meeting to Order
  
- II. New Business
  - a. Day Care Application – Jordyn Rossignol 2-7
  - b. Amendment to Site Design Review Application 8-22
  - c. Site Design Review Application – Concept Review 23-36
  
- III. Other Business
  
- IV. Adjournment



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OFFICE OF THE CITY MANAGER  
CARIBOU, MAINE

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To: Chairman and Planning Board Members  
From: Austin Bleess, City Manager  
Date: July 22, 2015  
Re: Day Care Application

Jordyn Rossignol has submitted a Day Care Application at 862 Sweden Street. This location used to be used for Connection Kids.

I've reviewed the application and everything appears to be in order. The only thing that we would need to have a copy of is a signed lease, which I've been assured is coming.

This location is well suited for this type of use, and it is allowable in the R-3 Zone. Staff recommends approval with the conditions of a copy of the signed lease for the property given to the city and DHHS and the fire marshal approving the application as well.



## Daycare Application

City of Caribou  
Planning & Code Enforcement  
25 High St.  
Caribou, Maine 04736

Austin Bless  
Code Enforcement Officer  
(207) 493-4234 Ext. 230  
citymanager@cariboumaine.org

**Note to Applicant:** Complete this application and return it with the required documents. In addition, the required fee must be returned along with this completed application. Make checks payable to: "City of Caribou", in the amount of \$90.00

**Please print or type all information**

Name of Property Owner / Developer: Carl Soderberg

Development Name: Nordic Properties, LLC

Location of Property (Street Locations): Sweden St Caribou, ME

City of Caribou Tax Map: \_\_\_\_\_ Lot: \_\_\_\_\_ Zone: \_\_\_\_\_

### Daycare Review Application – City of Caribou, Maine

Site Design approval will not be considered complete until the Planning Board has determined it has all of the necessary information to review the proposal and render a decision. You are advised to meet with the Code Enforcement Officer prior to completing the application as it may not be necessary to comply with all of the items shown on the form.

### Applicant Information

Person and address to which all correspondence regarding this application should be sent to: cell  
Jordyn Rossignol Day Time Phone: 207-521-6290  
410 New Sweden Rd Night Time Phone: 207-492-2252 or  
E-mail: jordynr15@yahoo.com

What legal interest does the applicant have in property to be developed (ownership, owners representative, option, purchase & sales contract, etc?)  
rental property  
(Attach supportive legal documentation)

**General Information**

Date your State of Maine Day Care License was approved: Pending  
(Attach a copy of License)

Has the site been inspected by the State Fire Marshal's Office and approved?  
All Pending  YES  NO  
(Attach Documentation)

Has the site been inspected by the Maine Department of Health & Human Services and approved?  
Pending  YES  NO  
(Attach Documentation)

**Structure & Site Plan Details**

Does the building have a Carbon Monoxide Detector?  YES  NO

Does the building have a smoke detector?  YES  NO

Is the garage attached to the house/building?  YES  NO

If yes, is there a minimal of 1/2" sheet rock fire-rated wall between the garage and house/building?  
 YES  NO

Do you have a basement?  YES  NO

Will the basement be accessible to children?  YES  NO

If yes, are there graspable handrails and guardrails on the staircase?  YES  NO

The outdoor play area shall not be located near hazardous areas (such as streets, open wells, open water) unless protected by fencing?

Do you have fencing around the outdoor play area?  YES  NO

If yes, how tall and what type? 10 foot high chain link fencing.

The fencing must be a minimum of four (4) feet high.

Subsurface Waste Water Disposal System – No person may expand the use of a structure using a private subsurface waste water disposal system until documentation is provided to the municipal officers and a notice of the documentation is recorded in the appropriate agency of deeds that, in the event of a future malfunction of the system, the disposal system can be replaced and enlarged to comply with the rules adopted under

Title 22 M.R.S. § 42, and any municipal ordinances governing subsurface waste water disposal systems, No requirements of these rules and ordinances may be waived for an expanded structure.

Have you provided documentation showing that the current disposal system can be replaced and

enlarged?  
Do you have an outdoor lighting system to support egress/ingress?  YES  YES  NO  NO

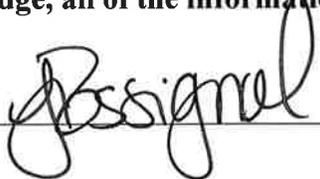
**Concept Plan Review Criterion**

Plan Review is intended to insure the proposed plan is in conformance with the Caribou Comprehensive Plan and all City Ordinances. The completed application shall be delivered to the Code Enforcement Office no less than 21 days prior to the first day of the next month. The Chairman of the Planning Board shall determine the schedule and agenda of the next meeting when the application will receive Plan Review. At a minimum, Plan application shall include the following:

1.  Name and address of the owner of record and applicant (if different).
2.  Name of the proposed development and location.
3.  A copy of the deed to the property, option to purchase the property, or other documentation to demonstrate right, title, or interest to operate a daycare in the property on the part of the applicant..
5. **Plans to show the following elements for review:**
  - a. Size, shape, and location of existing and proposed buildings on the site including dimensions of the buildings and setbacks from property lines.
  - b. Access for Emergency Vehicles, location and layout design of vehicular parking, circulation areas, loading areas, and walkways including curb cuts, driveways, parking space and vehicle turn around areas.
  3. Location of outdoor play areas, fences, exterior lighting, signage and accessory structures.

**Applicant Signature:**

**To the best of my knowledge, all of the information submitted in this application is true and correct.**

Signature of Applicant:  Date: 01/15/15

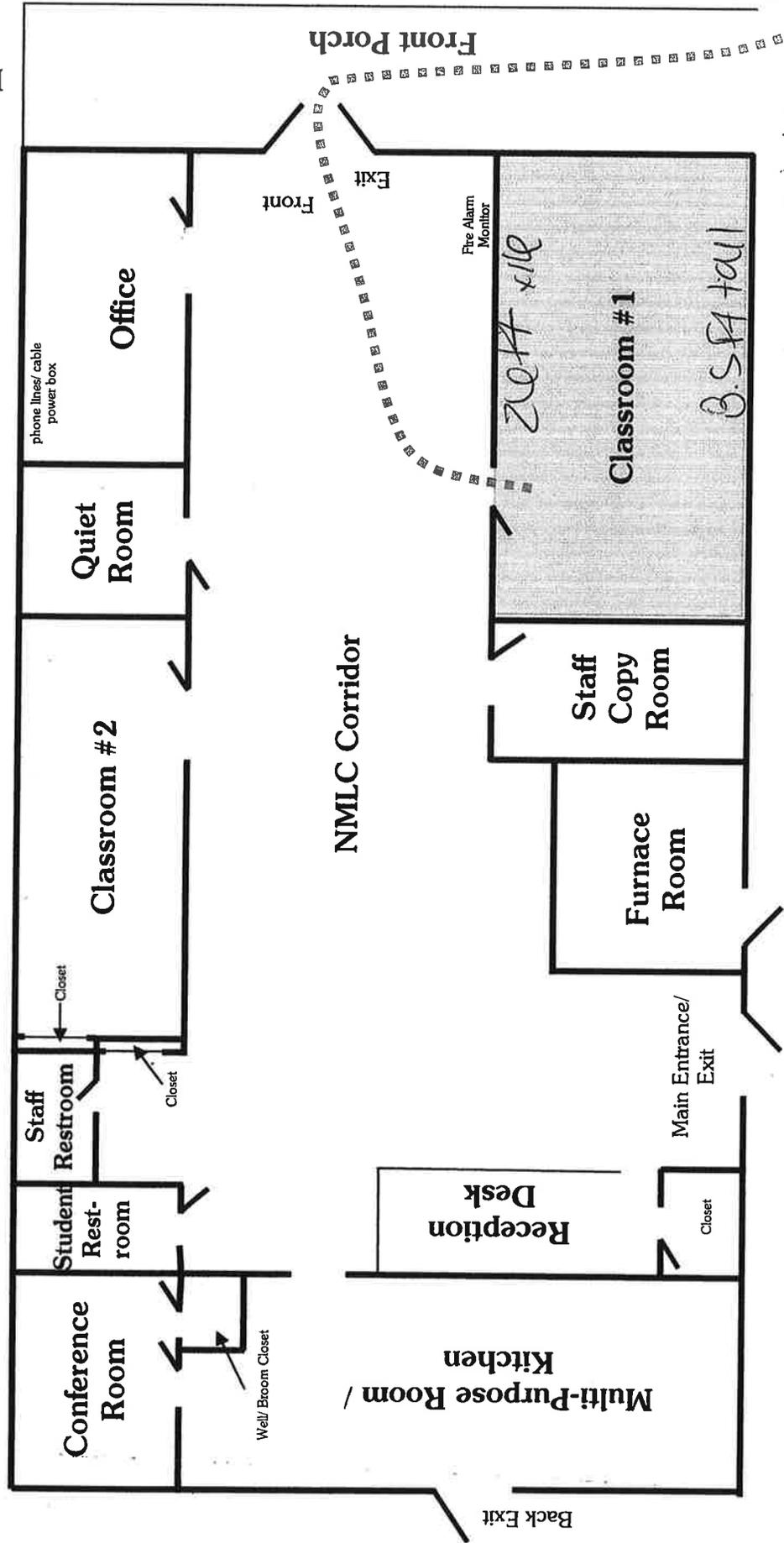
# Floor Plan

(Note: Not Drawn To Scale)

TW Willard



Parking Area



Wall to top left -  
11 ft by 8.5

Signal Day Care Location

Legend  
Fe





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OFFICE OF THE CITY MANAGER  
CARIBOU, MAINE

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To: Chairman and Planning Board Members  
From: Austin Bleess, City Manager  
Date: July 22, 2015  
Re: Amendment to Site Design Review Application

We have received an amendment to the site design review for Daigle Oil Company to put in 2 more 30,000 gallon propane tanks at their location on Route 1 at 917 Presque Isle Rd.

The proposed changes have been reviewed by the Fire Chief and also a Let's Talk Propane, which is a highly respected and very thorough third party inspector that does fire analysis.

The tanks need to be 50 feet from the highway to meet fire code. Our ordinances only require a 30 foot setback. The proposed new tanks will still be 115 feet away from the road.

The gravel pad the current tanks sit on will be expanded to accommodate the new tanks and the security fence will be extended around the site as well.

On the following pages you will find the application, site plan, grading and erosion control plan, proposed lighting plan, and a site location map. Full versions of these maps will be available on the night of the meeting, or if you want to review them beforehand they will be at City Hall.

Staff has reviewed this and believes this is an amendment to the site design review that was granted when the first tanks went in. Everything has been reviewed and staff recommends approval of this project.



## Site Design Application

Planning & Code Enforcement  
City of Caribou  
25 High St.  
Caribou, Maine 04736

(207) 493-3324 option 3  
pthompson@cariboumaine.org

**Note to Applicant:** Complete this application and return it with the required documents. In addition, the required fee must be returned along with this completed application. Make checks payable to: "City of Caribou", in the amount of \$90.00 plus \$10.00 per 2000 square feet of total gross floor area for commercial, industrial or other non residential applications.

### Please print or type all information

Name of Property Owner / Developer: Daigle Oil Company

Development Name: Caribou Propane Bulk Plant

Location of Property (Street Locations): 917 Presque Isle Road

City of Caribou Tax Map: 5 Lot: 24A Zone: R-C2

### Site Design Review Application – City of Caribou, Maine

Site Design approval will not be considered complete until the Planning Board has determined it has all of the necessary information to review the proposal and render a decision. You are advised to meet with the Code Enforcement Officer prior to completing the application as it may not be necessary to comply with all of the items shown on the form. The review of your application shall consist of at least (2) two presentations to the Planning Board and possibly additional presentations until all required information has been provided. A "Performance Bond" may be required prior to approval of this project.

## Applicant Information

Please provide a brief description of this project.

Daigle Oil Company is going to expand their propane storage area at their bulk storage plant. They are

going to put 2 additional 30,000 gallon propane storage tanks on their lot.

Person and address to which all correspondence regarding this application should be sent to:

Bert Levesque

Phone: 207-834-5027

Daigle Oil Company

P.O. Box 328

Fort Fent, ME 04743-0328

E-mail: bertl@daigleoil.com

If applicant is a corporation, check if licensed in Maine ( Yes ( No)  
(Attach copy of Secretary of State Registration)

Name of Land Surveyor, Engineer, Architect or other Design Professionals. (attach list if needed)

B.R. Smith Associates, Inc.

Timothy R. Roix, PLS, PE

Phone: 207-764-3661

11 Hall Street

Presque Isle, ME 04769

Phone: \_\_\_\_\_

What legal interest does the applicant have in property to be developed (ownership, owners representative, option, purchase & sales contract, etc?)

Daigle Oil Company owns the property, see attached deed

(Attach supportive legal documentation)

## General Information

Aroostook County Registry Deeds: Book # 5284 Page # 14 (attach copy of deed)

What interest does the applicant have in any abutting property? none

Is any portion of the property within 250 feet of the normal high water line of a lake, pond, river, or wetland or within 75 feet of any stream? ( Yes ( No)

Is any portion of the property within a Flood Hazard Zone? ( Yes ( No)

Total area or acreage of parcel: 5.3 acres Total area or acreage to be developed: 0.07 ac. +/-

Has this land been part of subdivision in the past five years? ( Yes ( No)

Identify existing use(s) of land (farmland, woodlot, residential, etc.) Propane bulk storage facility and  
bulk heating oil storage facility

Indicate any restrictive covenants to be placed in the deed -- (Please attach list) None

Does the applicant propose to dedicate any recreation area, or common lands?  Yes  No

Recreation area(s) Estimated Area & Description: N/A

Common land(s) Estimated Area & Description: N/A

Anticipated start date for construction: month / year     /     Completion:     /    

Does any portion of the proposal cross or abut an adjoining municipal line?  Yes  No

Does this development require extension of public services?  Yes  No

Roads:      Storm Drainage:      Sidewalks:      Sewer Lines:      Other:     

Estimated cost for infrastructure improvements: \$ 0.00

Water Supply: Private Well:  Public Water Supply:  N/A

Sewerage Disposal: Private SSWD:  Public Sewer:  N/A

Estimated sewerage disposal gallons per day: (    / day) N/A

**Does the building require plan review by the State Fire Marshal Office?**  Yes  No  
(Attach Barrier free and Construction Permits from SFMO)

**Have the plans been reviewed & approved by the Caribou Fire Chief?**  Yes  No

Does the building have an automatic sprinkler system?  Yes  No

Does the building have an automatic fire detection system?  Yes  No

Will the development require a hydrant or dry hydrant fire pond?  Yes  No

### Concept Plan Review Criterion

The Planning Board shall review applications first as a Concept Plan. Concept Plan Review is intended to insure the proposed plan is in conformance with the Caribou Comprehensive Plan and all City Ordinances. The completed application and concept plans shall be delivered to the Code Enforcement Office no less than 21 days prior to the first day of the next month. The

Chairman of the Planning Board shall determine the schedule and agenda of the next meeting when the application and plans will receive Concept Plan Review. At a minimum, Concept Plan applications shall include the following:

1.  X  Name and address of the owner of record and applicant (if different).
2.  X  Name of the proposed development and location.
3.  X  Names and addresses of all property owners within 500 feet of the property.
4.  X  A copy of the deed to the property, option to purchase the property, or other documentation to demonstrate right, title, or interest in the property on the part of the applicant.
5.  X  Names and addresses of all consultants working on the project.
6.  X  1 complete set of plans, 24" X 36" & 10 complete sets of plans, 11" X 17"  
 Plans to be included:  
 Boundary Survey  
 Storm Water Management  
 Erosion and Sediment Control  
 Finish Grading Plan  
 Site Improvement Detail  
 Building Elevations and Structural Plans
7. **Plans to show the following elements for review:**
  - X  a. Graphic scale and north arrow.
  - N/A  b. Location and dimensions of any existing or proposed easements and copies of existing covenants or deed restrictions.
  - X  c. Name, registration number, and seal of the land surveyor, architect, engineer, and/or similar professional who prepared the Plan.
  - X  d. All property boundaries, land area, and zoning designations of the site, regardless of whether all or part is being developed at this time.
  - X  e. Size, shape, and location of existing and proposed buildings on the site including dimensions of the buildings and setbacks from property lines.
  - X  f. Access for Emergency Vehicles, location and layout design of vehicular parking, circulation areas, loading areas, and walkways including curb cuts, driveways, parking space and vehicle turn around areas.
  - X  g. Location and names of streets and rights-of-way within 200' and adjacent to the proposed development.
  - X  h. Proposed finish grades and graphic arrows indicating the direction of storm water runoff.
  - N/A  i. Conceptual treatment of on and off site storm water management facilities.
  - N/A  j. Location and sizes of existing and proposed sewer and water services including connections.
  - N/A  k. Conceptual treatment of landscaping buffers, screens, and plantings.

- X   l. Location of outdoor storage areas, fences, signage and accessory structures.
- X   m. Context map illustrating the area surrounding the site which will be affected by the proposal including all streets, sidewalks, intersections, storm water drainage ways, sanitary sewer lines and pump stations, nearby properties and buildings, zoning Districts, and geographic features such as, but not limited to, wetlands, natural features, historic sites, flood plains, significant scenic areas, and significant wildlife habitats as provided in the Comprehensive Plan.
- X   n. All proposed signage and exterior lighting including the location, size and wording of all signs, type of exterior lights, radius of light, manufacturer's specifications sheet, and the ground level intensity in foot- candles of all exterior lights.

**Final Site Design Plan Requirements**

Following approval of the Concept Plan Review, the Planning Board may by majority vote schedule the Site Design Application for Final Plan Review. Final Plan Review must be at least 30 days following Concept Plan Approval. If additional information is required by the Planning Board following the Concept Plan Review, a complete set of revised plans shall be provided for final review and approval. If additional information or a change of information is required, the revised plans shall be delivered to the Code Enforcement Office at least 21 days prior to the next scheduled meeting.

Final Site Design Plan Review shall require three (3) 24" X 36" sets of plans for Board Signatures.

If the Planning Board determines that third party review will be necessary to make a sound decision, the applicant will be responsible for any fees incurred for the third party review.

During the Final Site Design Review the Chairman or designee shall determine that all of the elements of review 7-a., through 7-n. above have been addressed. The chair may then call for a motion.

If the Final Plan is approved by the Planning Board, no work may commence for a period of 30 days following the date of approval.

Final Site Design Plans shall provide an area designated for all seven Planning Board members signatures.

**Applicant Signature:**

**To the best of my knowledge, all of the information submitted in this application is true and correct.**

Signature of Applicant: \_\_\_\_\_ Date: \_\_\_\_\_

**Final Site Design Review Criteria by Planning Board**

Date: _____	<u>Yes</u>	<u>No</u>	<u>N/A</u>
A. Conformance with Comprehensive Plan	_____	_____	_____
B. Traffic	_____	_____	_____
C. Site Access	_____	_____	_____
D. Parking & Vehicle Circulation	_____	_____	_____
	<u>Yes</u>	<u>No</u>	<u>N/A</u>
E. Pedestrian Circulation	_____	_____	_____
F. Site Conditions	_____	_____	_____
G. Open Space	_____	_____	_____
H. Sanitary Sewage	_____	_____	_____
I. Water	_____	_____	_____
J. Emergency Vehicle Access	_____	_____	_____
K. Waste Disposal	_____	_____	_____
L. Buffering	_____	_____	_____
M. Natural Areas	_____	_____	_____
N. Exterior Lighting	_____	_____	_____
O. Stormwater Management	_____	_____	_____
P. Erosion & Sediment Control	_____	_____	_____
Q. Buildings	_____	_____	_____
R. Existing Landscaping	_____	_____	_____
S. Infrastructure	_____	_____	_____
T. Advertising Features	_____	_____	_____
U. Design Relationship to Site & Surrounding Properties	_____	_____	_____

V.	Scenic Vistas & Areas	_____	_____	_____
W.	Utilities	_____	_____	_____
X.	Mineral Exploration	_____	_____	_____
Y.	General Requirements (Pg. 859)	_____	_____	_____
Z.	Phosphorus Export	_____	_____	_____

**City of Caribou, Maine  
Planning Board**

Site Design Review for: \_\_\_\_\_  
 Address: \_\_\_\_\_

**Approved by the Caribou Planning Board**

Signed: \_\_\_\_\_ Chairman of the Planning Board  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Date: \_\_\_\_ / \_\_\_\_ / \_\_\_\_

**Conditions of Approval:**  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Consultants for Daigle Oil Co. Propane Storage Facility Expansion

Site Design

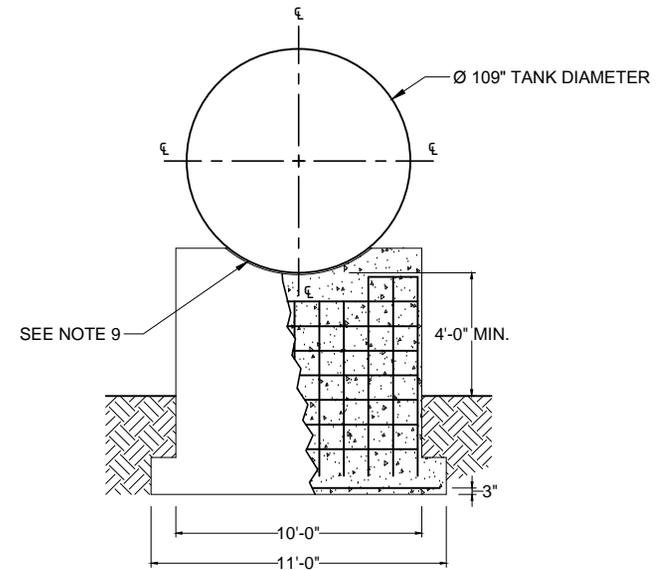
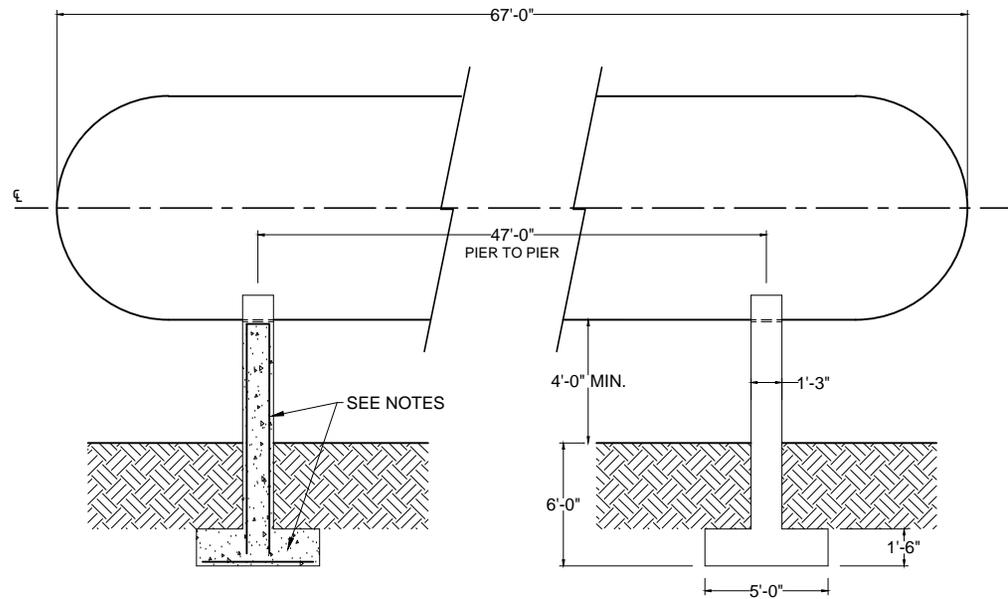
Timothy R. Roix, PLS, PE  
B.R. Smith Associates, Inc.  
11 Hall Street  
Presque Isle, ME 04769  
207-764-3661

Fire Analysis

David Breed  
Let's Talk Propane  
79 Harrison Avenue  
Gardiner, ME 04345  
207-582-3686

Piping Design, Tank Design, & Facility Layout

Mark Lamkin  
Crown Energy Solutions  
10 Rocky ridge Road  
Windham, NH 03087  
603-490-0883



#### GENERAL NOTES

1. Foundation Designs bases on the soil bearing of 2000 lbs/sq. ft.
2. Minimum footing depth to be governed by local codes.
3. 5/8" O steel reinforced bars, hi-bond or equal, wire at each intersection. Set bar for pier at: vertical - 12" o.c., horizontal - 12" o.c., set bar for footing at: 12" o.c. both ways.
4. Forms shall conform to shape, lines and dimensions shown and shall be sufficiently tight and substantial to prevent leakage of concrete.
5. Reinforced poured concrete shall comply with most recent A.S.T.M specs.
6. Mixing water to be free and clean, no acids, alkalis, oil or organic matter.
7. Mix - 1:1 ½ : 3 compressive strength 3,000 PSI in 28 days.
8. Contractor to verify all dimensions in field.
9. All pier elevations to match.

**Daigle Oil Co.**  
Propane Storage Facility

Caribou, ME

Piping Schematic

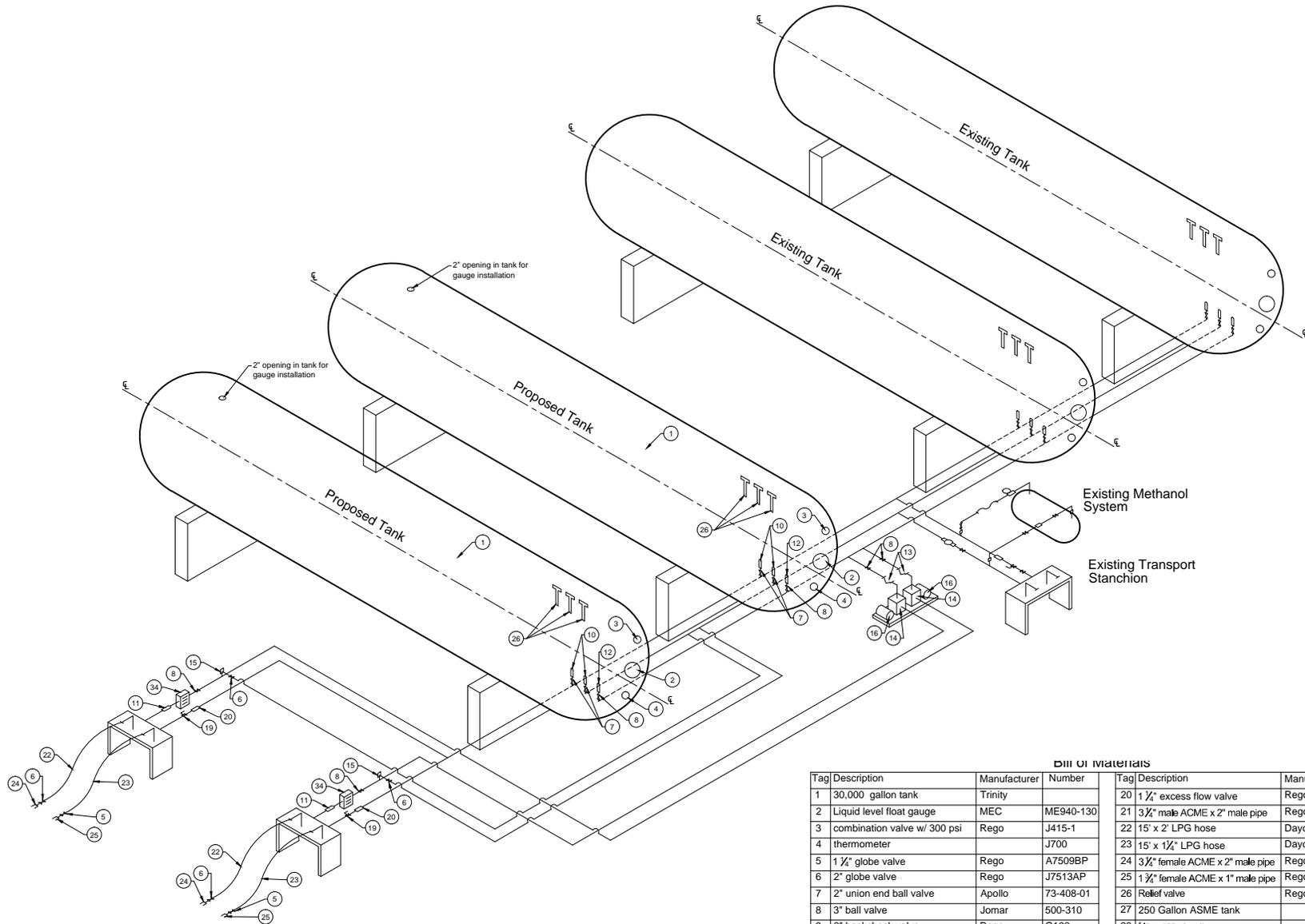
Date 7/6/15

Scale: No Scale

Drawing 1 of 1

Drafting by:  
**FSM Drawings LLC**  
Manchester, NH 03103

Prepared by:  
**CROWN ENERGY SOLUTIONS**  
10 Rocky Ridge Rd, Windham, NH 03087



**Daigle Oil Co.**  
Propane Storage Facility

Caribou, ME

Piping Schematic

Date 7/6/15

Scale: No Scale

Drawing 1 of 1

Drafting by:  
FSM Drawings LLC  
Manchester, NH 03103

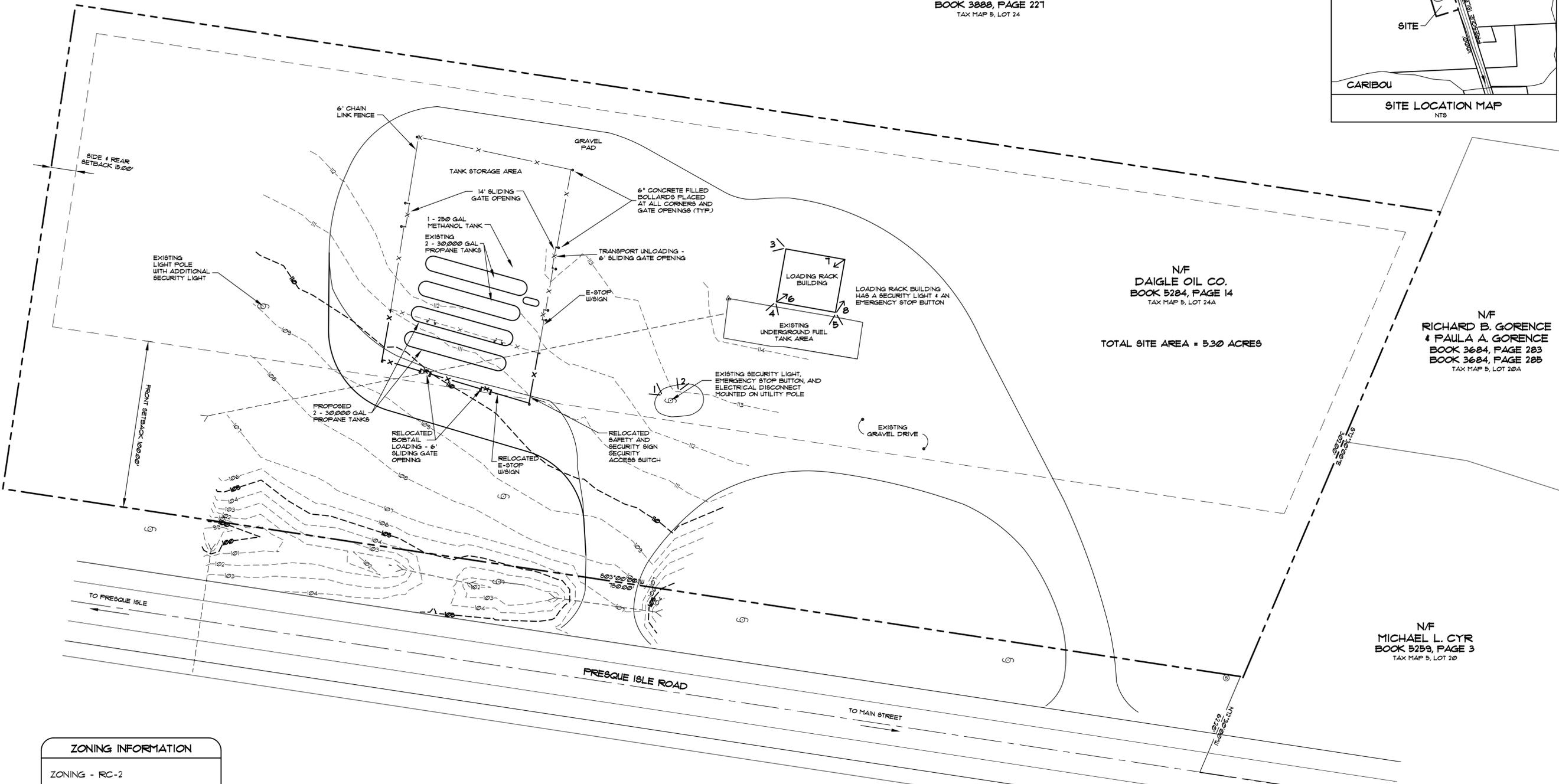
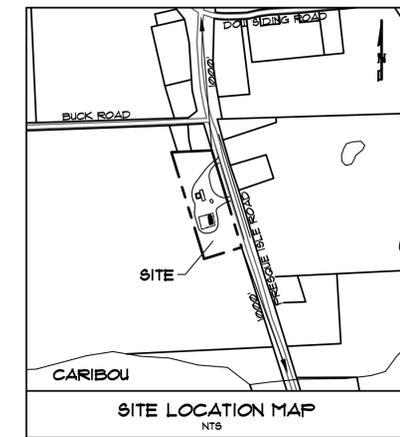
Prepared by:  
CROWN ENERGY SOLUTIONS  
10 Rocky Ridge Rd, Windham, NH 03087

**Bill of Materials**

Tag	Description	Manufacturer	Number	Tag	Description	Manufacturer	Number
1	30,000 gallon tank	Trinity		20	1 1/4" excess flow valve	Rego	A3282C
2	Liquid level float gauge	MEC	ME940-130	21	3/4" male ACME x 2" male pipe	Rego	5769H
3	combination valve w/ 300 psi	Rego	J415-1	22	15' x 1 1/4" LPG hose	Dayco	
4	thermometer		J700	23	15' x 1 1/4" LPG hose	Dayco	
5	1 1/4" globe valve	Rego	A7509BP	24	3/4" female ACME x 2" male pipe	Rego	3195
6	2" globe valve	Rego	J7513AP	25	1 1/2" female ACME x 1" male pipe	Rego	3175A
7	2" union end ball valve	Apollo	73-408-01	26	Relief valve	Rego	7534G
8	3" ball valve	Jomar	500-310	27	250 Gallon ASME tank		
9	2" backcheck valve	Rego	G102	28	1/2" x 48" pigtail		912PS48
10	2" internal valve	Fisher	C477-16-15	29	First stage regulator	Rego	LV4403TR4
11	2" internal valve	Fisher	C477-16-25	30	3/4" Globe Valve	Rego	A7706P
12	3" internal valve	Fisher	C477-24-37	31	3/4" Backcheck	Rego	A3146
13	3" strainer	Fisher	N260-24	32	3/4" Excess flow valve	Rego	A3272G
14	3" pump	Corken	Z3500	33	3/4" Flex connector		FLX3/4x12
15	2" bypass	Blackmer	Bv2	34	Meter	LC	MA-15
16	10 HP motor	US Motors		35	1 1/4" union ball valve		
17	Pipe-away and Rain cap						
18	2" sight flow	Rego	A7796				
19	1 1/4" emergency shut off valve	Rego	6010				



N/F  
 JUNITA D. LANCASTER  
 BOOK 3888, PAGE 221  
 TAX MAP 5, LOT 24



N/F  
 DAIGLE OIL CO.  
 BOOK 5284, PAGE 14  
 TAX MAP 5, LOT 24A  
 TOTAL SITE AREA = 5.30 ACRES

N/F  
 RICHARD B. GORENCE  
 & PAULA A. GORENCE  
 BOOK 3684, PAGE 283  
 BOOK 3684, PAGE 285  
 TAX MAP 5, LOT 20A

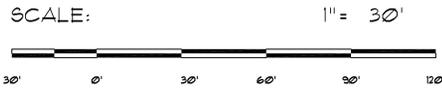
N/F  
 MICHAEL L. CYR  
 BOOK 5253, PAGE 3  
 TAX MAP 5, LOT 20

**ZONING INFORMATION**  
 ZONING - RC-2  
 MIN. LOT SIZE - 1 AC.  
 MIN. LOT FRONTAGE - 150'  
 MAX. LOT COVERAGE - NA  
 MIN. SETBACKS  
 FRONT - 100'  
 SIDES & BACK - 15'

CAMERA INFORMATION			
✓	IP CAMERAS	↑	ANALOG CAMERAS
1	PROPANE TANKS	6	INSIDE - #2 FUEL OIL SIDE
2	RACK ENTRANCE & TANK PAD	7	INSIDE - KEROSENE SIDE
3	PROPANE TANK STORAGE	8	OUTSIDE - STAIRS & BACK CORNER
4	FUEL TANK PAD - SOUTH		
5	FUEL TANK PAD - NORTH		

**GENERAL NOTES:**  
 1. GRAVEL PAD SHALL CONSIST OF MIN. 18" OF MDOT TYP B AGGREGATE COMPACTED TO 98% DENSITY MINIMUM, MODIFIED PROCTOR.  
 2. TANK, TANK FOUNDATION, AND PIPING DESIGN IS BY CROWN ENERGY SOLUTIONS. SEE THEIR PLANS DATED 6-11-15 FOR ADDITIONAL INFORMATION.

- LEGEND**
- N/F NOW OR FORMERLY
  - (U) UTILITY POLE
  - (S) SANITARY SEWER MANHOLE
  - PROPERTY LINE
  - OVERHEAD UTILITY LINE
  - x- FENCE
  - - - EXISTING CONTOUR
  - PROPOSED CONTOUR



ISSUED FOR MUNICIPAL REVIEW

DATE	REVISIONS

**SITE PLAN**  
 CARIBOU PROPANE BULK PLANT EXPANSION  
 911 PRESQUE ISLE ROAD, CARIBOU  
 ARDOSTOCK COUNTY, MAINE

CLIENT: DAIGLE OIL CO. FORT KENT, MAINE 04749-0218  
 DESIGNED BY: BL  
 DRAWN BY: KAH  
 CHECKED BY: TRR  
 APPROVED BY: TRR

PROJECT: BRSA PROJ. # 2015 043  
 FIELD BOOK # DC  
 PLAN DATE: 1-14-2015  
 PLAN SCALE: AS SHOWN

NO PORTION OF THIS PLAN MAY BE IN ANY WAY REPRODUCED OR USED FOR ANY PURPOSE OTHER THAN THE SPECIFIC PROJECT INDICATED HEREON WITHOUT THE WRITTEN PERMISSION OF B.R. SMITH ASSOCIATES, INC.  
 © 2015 B.R. SMITH ASSOCIATES, INC.

**C1.01**

**Introduction**

This Erosion and Sedimentation Control Plan has been prepared to aid in the prevention of erosion and subsequent sedimentation of the downstream stormwater structures during and after construction of the proposed project. Actual prevention is the responsibility of all those involved in the project, especially those involved in site construction. Construction personnel and the developer must be observant and prepared to take immediate action to prevent erosion at all times. This plan should be used as a guide, however unforeseen site conditions and storm events may require additional or alternative preventative measures. This plan has been prepared in accordance with the Maine Erosion and Sediment Control Handbook for Construction Best Management Practices, 1991 and MDOT BMP, 1997.

**Administration**

This Plan has been prepared by B.R. Smith Associates, Inc. for use by all those involved in the development of the site and lot improvements. The Plan shall be administered by the construction manager until completion of construction. Upon completion of construction the administration of the Plan for the site shall pass to the Owner.

**Key Areas of Concern During Construction**

During the development of this site the following areas shall be watched on a continual basis for signs of erosion, and will be areas of preventative measures.

Area	Temp. Measures	Perm. Measures
Natural Slopes Disturbed	Mulch, Grass Cover, Silt Barrier	Grass Cover
Man Made Slopes	Mulch, Grass Cover, Silt Barrier	Grass Cover
Existing Drainage Swales	Check Dams (as req.)	Natural Cover
Man Made Swales	Check Dams, Mulch, Grass	Rip Rap, Grass Cover
Roadway Drainage Structures	Haybale Inlet Protection	Rip Rap
Parking Drainage Structures	Haybale Inlet Protection	

**Key Areas of Concern After Construction**

All people should have a concern for the environment and keep a watch for erosion of soils wherever they travel. Within this development the following areas should be of special concern on an ongoing basis.

Area	Temp. Measures	Perm. Measures
Project Slopes	Mulch, Grass Cover	Grass Cover
Detention Structure & Basin	--	Contact Resident Engineer
Drainage Swales	--	Contact Resident Engineer

**Temporary Control Measures**

**Temporary Mulch**

- Purpose: To prevent erosion by protecting exposed soil surfaces and to aid in the growth of vegetation by conserving available moisture, controlling weeds, and providing protection against extreme heat and cold.
- Products: Organic Mulches: Hay or straw mulch, free of weed seeds.
- Required Usage: Apply to exposed soil surfaces prior to any storm event and within 7 days of exposure.
- Execution: Application shall be at a rate of 2 bales (10 - 40 lb.) per 1,000 sq. ft.
- Maintenance: All mulches shall be inspected weekly and after every storm event, to check for erosion. Remulching shall be required if less than 90% of soil surface is covered.
- Removal: Temporary mulch shall be removed once vegetative cover has been established or regrading is to be done.
- Winter Mulch Layer: A winter mulch layer shall be applied to all disturbed areas that do not have mature vegetation after September 30. The winter mulch layer shall be 4" thick and shall have 90% coverage of all disturbed areas.

**Temporary Grass Cover**

- Purpose: To reduce erosion by stabilization of disturbed areas which have not been brought to final grade.
- Product: In accordance with this table:

Seed	Lb./Ac.	Lb. Per 1000 S.F.	Seeding Rates and Dates	Remarks
Winter Rye	112 (2.0)	2.6	1-15 in. 8/15-10/1	Good for fall seeding. Select a hardy species, such as Arrostook Rye.
Oats	80 (2.5 bu)	1.8	1-15 in. 4/1 - 7/1 8/15-9/15	Best for spring seeding. Early fall seedings will die when winter weather moves in, but mulch will provide protection.
Annual Ryegrass	40	0.9	25 in. 4/1 - 7/1	Grows quickly but is of short duration. Use where appearance is important. With mulch, seeding may be done throughout growing season.
Sudangrass	40(1.0 bu)	0.9	0.5 - 1 in. 5/15-8/15	Good growth during hot summer periods.
Perennial	40(1.0 bu)	0.9	0.25 8/15-9/15	Good cover, longer lasting than Annual Ryegrass, mulching will allow seeding through growing season.

- Temporary mulch with or without dormant seeding 8/15-9/15
- Required Usage: Provide temporary grass cover to all disturbed areas which will receive no permanent prevention measures for a period of more than 90 days.
- Execution: Loosen topsoil to a depth of 2". Apply 13.2 lb. of 10-10-10 fertilizer per 1,000 sq. ft. and lime at rate of 13.5 lb. per 1,000 sq. ft. Apply seed uniformly and apply temporary mulch.
- Maintenance: All temporary covers shall be inspected weekly and after every storm event, to check for erosion. Reseeding shall be required if less than 95% of soil surface is covered. Provide for other preventative measures in the interim.

**Sedimentation Barriers**

- Purpose: To intercept and retain small amounts of sediment from disturbed or unprotected areas of limited extent.
- Product: Synthetic filter fabric certified by the manufacturer to meet the following:  
Filtering Efficiency (test VTM-51) 75% min.  
Tensile strength at 20% (max)  
Elongation (test VTM-52) Extra Strength: 50 lb/inch Standard: 30 lb/inch  
Flow Rate (test VTM-51) 0.3 gal/sq ft/min
- Required Usage: Install along uniform grade of disturbed downhill slopes.
- Execution: Install barrier in accordance with enclosed detail.
- Maintenance: All sediment barriers shall be inspected weekly and after every storm event, to check for sediment build up or failure. Sediments shall be removed after each storm event. Sediment barriers shall be maintained in effective condition for the life of the barrier.
- Removal: Stakes, reinforcing mesh, and fabric shall be removed once sedimentation of the runoff is no longer a threat. Regrade, reseed and mulch affected areas.

**Temporary Check Dams**

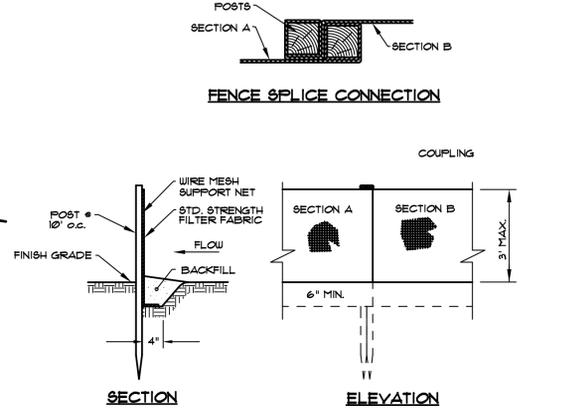
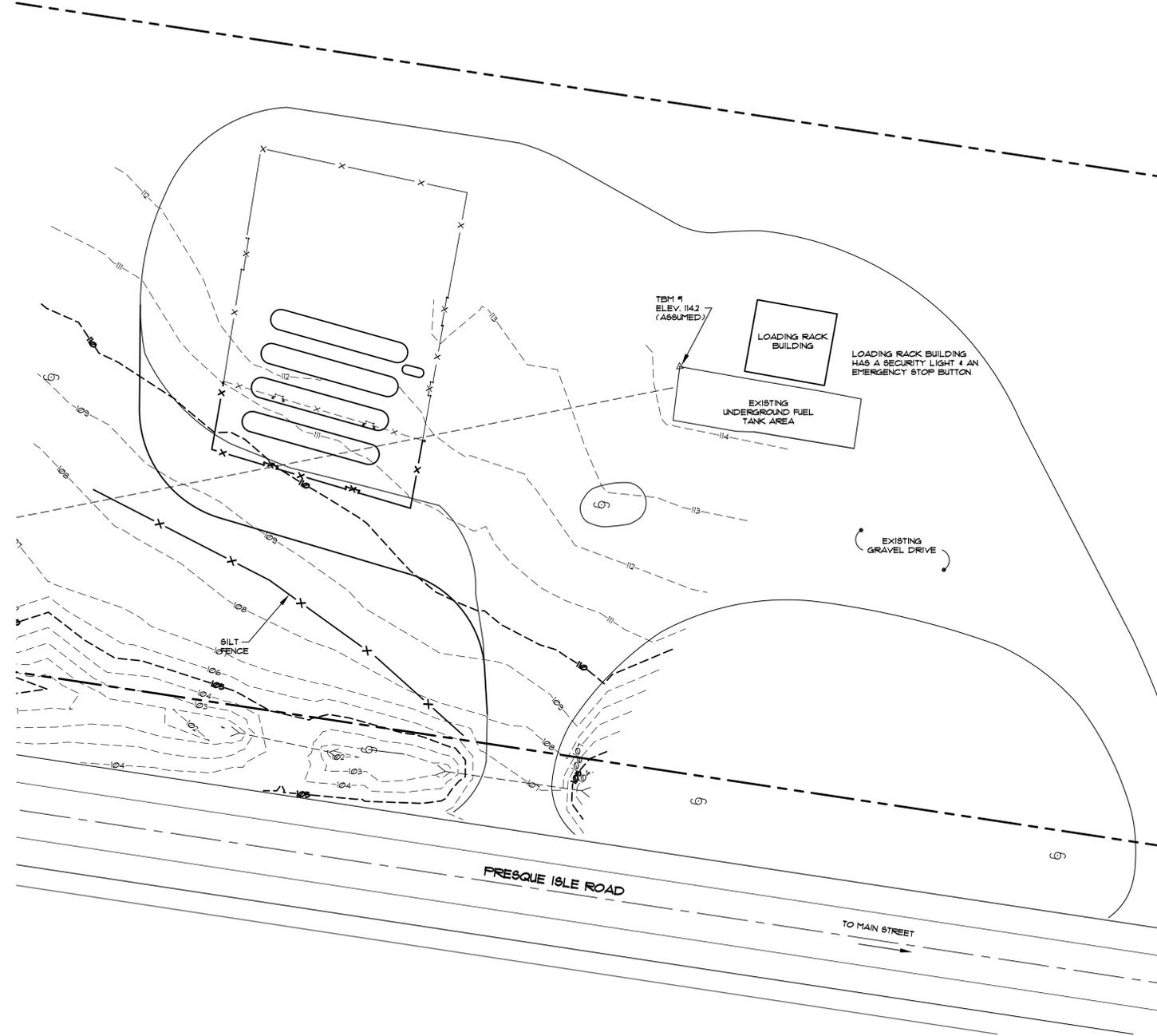
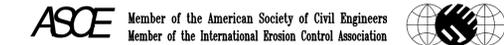
- Purpose: To reduce the velocity of concentrated stormwater flows to prevent erosion.
- Products: Stone of 2" to 3" in diameter. Geotextile fabric of sufficient strength to facilitate removal.
- Required Usage: Locate in all newly constructed or disturbed ditches and drainage ways.
- Execution: Install in accordance with enclosed details.
- Maintenance: All check dams shall be inspected weekly and after every storm event, to check for sediment build up or failure. Sediments shall be removed after each storm event. Check dams shall be maintained in effective condition for the life of the barrier.
- Removal: Remove Check dams when channel stabilization has been established. Seed and mulch area. Areas of removal shall be inspected until stabilization of these areas is reached.

**Permanent Control Measures**

- Permanent Grass Cover
- Purpose: To permanently stabilize the soil to reduce erosion of soils.
- Products: In accordance with BMP Below Table:

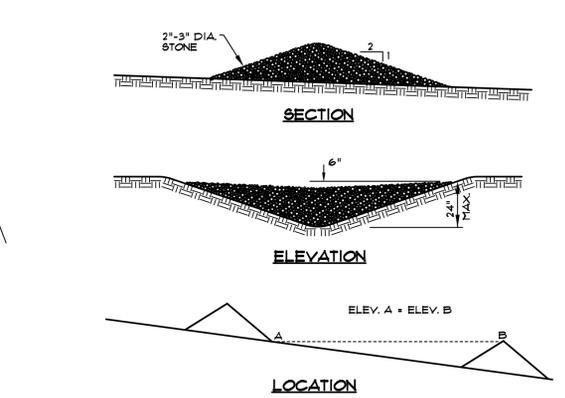
Seed Mixture	Lbs/Acre	Lbs/1000 sq ft
1. Roadside, ditches, wetland banks, existing and proposed swales, and all slopes less steep than 3 horizontal to 1 vertical, etc. (Mowing desired)		
Creeping Red Fescue	20	0.46
Tall Fescue	20	0.46
Redtop	2	0.05
Total	42	0.97

- Note: Inoculate all legume seeds, and use four times the recommended rate of inoculant when hydroseeding.
- Execution: Permanent grass cover shall be installed within 7 days of final grading. Apply fertilizer, lime in accordance with Temporary cover and seed rates of the above BMP table.
- Maintenance: Establish a grass cover and remove mulch. Reseed areas not attaining a cover of 90%.



NOTE: IF EXTRA STRENGTH FABRIC IS USED WIRE MESH MAY BE OMITTED, PROVIDING POST SPACING DOES NOT EXCEED 6' O.C.

**SEDIMENTATION CONTROL FENCE**  
N.T.S.



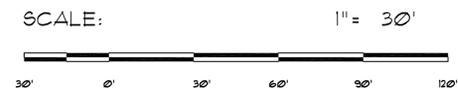
NOTE: INSTALL GEOTEXTILE FABRIC UNDER STONE CHECK DAMS SEED AND MULCH AREA UPON REMOVAL OF DAM

**STONE CHECK DAM**  
N.T.S.

- GENERAL NOTES:
- ALL DISTURBED AREAS TO BE LOAMED, SEEDED, AND MULCHED.
  - EXISTING CONTOUR LINES AND ELEVATIONS ARE BASED ON TEM #1, THE SOUTHWEST CORNER OF THE CONCRETE SLAB OVER THE UNDERGROUND PETROLEUM TANKS, AT AN ASSUMED ELEVATION OF 114.2.

**LEGEND**

- N/F NOW OR FORMERLY
- ⊙ UTILITY POLE
- ⊙ SANITARY SEWER MANHOLE
- PROPERTY LINE
- O- OVERHEAD UTILITY LINE
- x- FENCE
- - - 112 EXISTING CONTOUR
- - - 112 PROPOSED CONTOUR



ISSUED FOR MUNICIPAL REVIEW

DATE	REVISIONS

GRADING & EROSION CONTROL PLAN

CARIBOU PROPANE BULK PLANT EXPANSION

911 PRESQUE ISLE ROAD, CARIBOU, ARROSTOOK COUNTY, MAINE

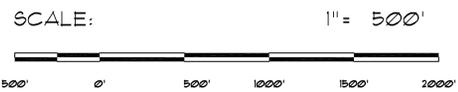
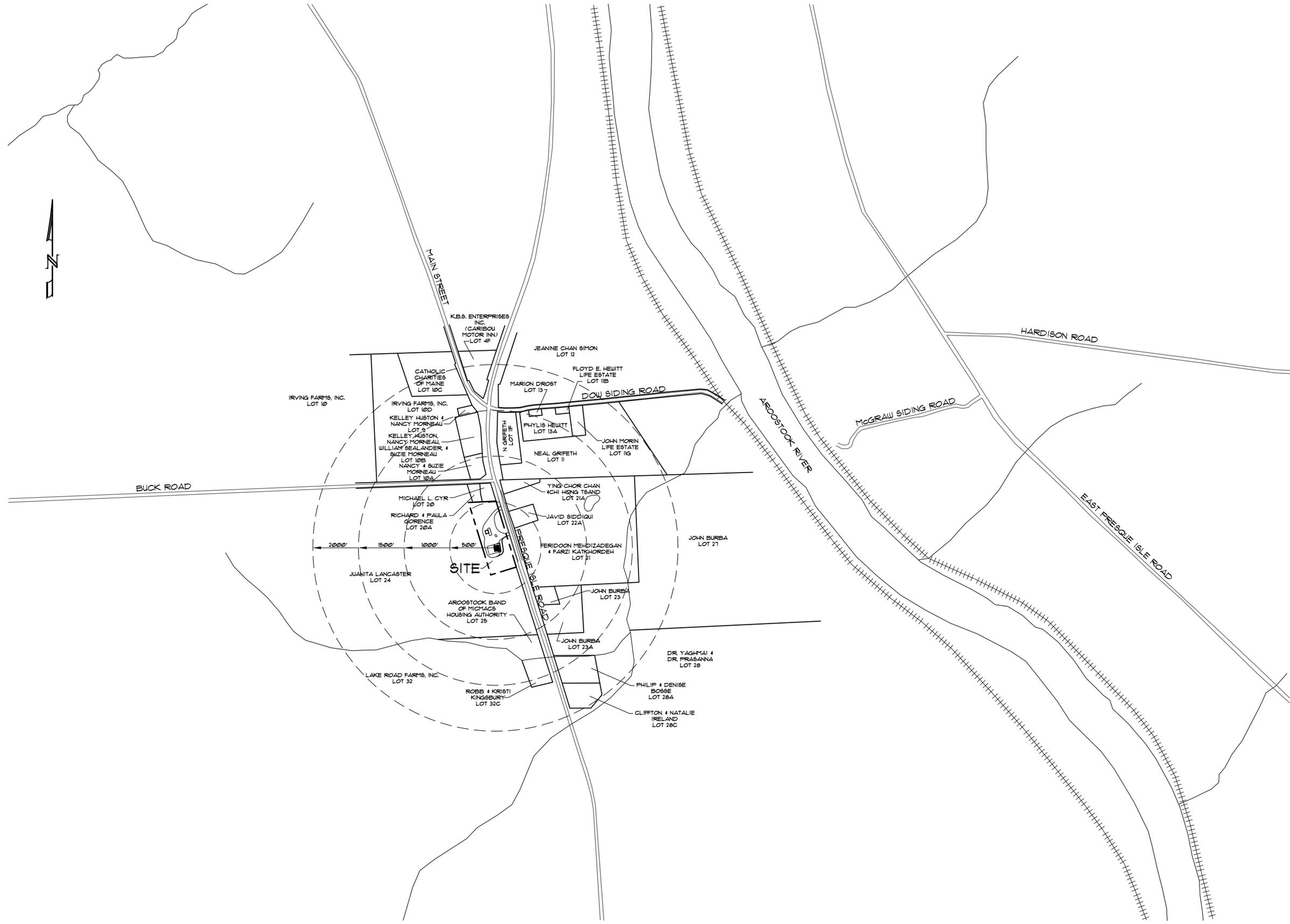
CLIENT: DABLE OIL CO. FORT KENT, MAINE 04743-0228	SHEET NAME: PROJECT: BRSA PROJECT # 2015069
DESIGNED BY: BL	FIELD BOOK # DC
DRAWN BY: KAH	PLAN DATE: 1-14-2015
CHECKED BY: TRR	PLAN SCALE: AS SHOWN
APPROVED BY: TRR	

NO PORTION OF THIS PLAN MAY BE IN ANY WAY REPRODUCED OR USED FOR ANY PURPOSE OTHER THAN THE SPECIFIC PROJECT INDICATED HEREON WITHOUT THE WRITTEN PERMISSION OF B.R. SMITH ASSOCIATES, INC.

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C1.02





NOTE: ROAD AND PROPERTY LINE INFORMATION WAS TAKEN FROM DELOREME QUAD MAPS AND CITY OF CARIBOU TAX MAP #5 AND ARE APPROXIMATE IN NATURE.



ISSUED FOR MUNICIPAL REVIEW

NO.	DATE	REVISIONS

SITE LOCATION MAP

CARIBOU PROPANE BULK PLANT EXPANSION  
911 PRESQUE ISLE ROAD, CARIBOU  
ARCOOSTOOK COUNTY, MAINE

CLIENT: DABLE OIL CO.  
FORT KENT, MAINE 04743-0228

DESIGNED BY: BL	BRSA PROJECT # 2019-065
DRAWN BY: KAH	FIELD BOOK # DC
CHECKED BY: TRR	PLAN DATE: 1-14-2019
APPROVED BY: TRR	PLAN SCALE: AS SHOWN

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MS1.01



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OFFICE OF THE CITY MANAGER  
CARIBOU, MAINE

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To: Chairman and Planning Board Members  
From: Austin Bless, City Manager  
Date: July 22, 2015  
Re: Site Design Review Application – Concept Review

Keith Brown, of Caribou Cabins, has submitted a Site Design Review application to put RV slabs in at Caribou Cabins at 263 Lombard Road, Map 10, Lot 17. The zone is R-3, which requires Planning Board approval for a campground.

He's looking to put in slabs, electrical, water, and sewer hook ups for 18 RV spots. A copy of the map that Mr. Brown has drawn up is included here and the full sized version will be at the meeting and is also available to be viewed before the meeting.

This is being presented to the Planning Board tonight as the Concept Review and to see what other information the Planning Board may require before it can be approved.

This type of facility would certainly be useful in Caribou. It would be great to see this project go forward.

Mr. Brown has stated he does not want to spend the money to get an updated site survey done. The survey we have is from 2003. If the Planning Board feels the plan given to us does not need to be updated that is fine. If there is anything else the Planning Board feels needs to be or may not need to be presented with the final application that should be discussed as well.

The application would need to have one more meeting and we would need to contact the residents within 500 feet of the property of the hearing. That would be at our regular August meeting.

The information given to the city so far is on the following pages.



## Site Design Application

Planning Board  
City of Caribou  
25 High St.  
Caribou, Maine 04736

Attn: Tony Mazucco, Asst. City Manager  
(207) 493-3324 X 224

**Note to Applicant:** Complete this application and return it with the required documents. In addition, the required fee must be returned along with this completed application. Make checks payable to: "City of Caribou", in the amount of \$90.00 plus \$10.00 per 2000 square feet of total gross floor area for commercial, industrial or other non residential applications.

### Please print or type all information

Name of Property Owner / Developer: Keith F. Brown

Development Name: \_\_\_\_\_

Location of Property (Street Locations): 263 Lombard Road

City of Caribou      Tax Map: 010      Lot: 017      Zone: R-3

### Site Design Review Application – City of Caribou, Maine

Site Design approval will not be considered complete until the Planning Board has determined it has all of the necessary information to review the proposal and render a decision. You are advised to meet with the Code Enforcement Officer prior to completing the application as it may not be necessary to comply with all of the items shown on the form. The review of your application shall consist of at least (2) two presentations to the Planning Board and possibly additional presentations until all required information has been provided. A "Performance Bond" may be required prior to approval of this project.

**Applicant Information**

Please provide a brief description of this project.

To Put in A B.V. Park with 18 spots  
with Full Hook-ups

Person and address to which all correspondence regarding this application should be sent to:

Keith E. Brown Phone: 207-498-2800  
263 Lombard Rd  
Caribou ME 04734 E-mail: \_\_\_\_\_

If applicant is a corporation, check if licensed in Maine ( ) Yes ( ) No  
(Attach copy of Secretary of State Registration)

Name of Land Surveyor, Engineer, Architect or other Design Professionals. (attach list if needed)

\_\_\_\_\_  
Phone: \_\_\_\_\_  
\_\_\_\_\_  
Phone: \_\_\_\_\_

What legal interest does the applicant have in property to be developed (ownership, owners representative, option, purchase & sales contract, etc?)

Owner  
(Attach supportive legal documentation)

**General Information**

Aroostook County Registry Deeds: Book # \_\_\_\_\_ Page # \_\_\_\_\_ (attach copy of deed)

What interest does the applicant have in any abutting property? \_\_\_\_\_

Is any portion of the property within 250 feet of the normal high water line of a lake, pond, river, or wetland or within 75 feet of any stream? ( ) Yes ( X ) No

Is any portion of the property within a Flood Hazard Zone? ( ) Yes ( X ) No

Total area or acreage of parcel: 14 Total area or acreage to be developed: 2 1/2 acres

Has this land been part of subdivision in the past five years? ( ) Yes ( X ) No

Identify existing use(s) of land (farmland, woodlot, residential, etc.)

Cabin Rental

Business

Indicate any restrictive covenants to be placed in the deed -- (Please attach list)

Does the applicant propose to dedicate any recreation area, or common lands? ( ) Yes ( ) No

Recreation area(s) Estimated Area & Description: \_\_\_\_\_

Common land(s) Estimated Area & Description: \_\_\_\_\_

Anticipated start date for construction: month / year \_\_\_/\_\_\_ Completion: \_\_\_/\_\_\_

Does any portion of the proposal cross or abut an adjoining municipal line? ( ) Yes (X) No

Does this development require extension of public services? (X) Yes (X) No

Roads: \_\_\_ Storm Drainage: \_\_\_ Sidewalks: \_\_\_ Sewer Lines: ~~\_\_\_~~ Other: \_\_\_

Estimated cost for infrastructure improvements: \$ 25,000 - 30,000

Water Supply: Private Well: (X) Public Water Supply: ( )

Sewerage Disposal: Private SSWD: (X) Public Sewer: ( )

Estimated sewerage disposal gallons per day: ( 1350 / day)

Does the building require plan review by the State Fire Marshal Office? ( ) Yes (X) No  
(Attach Barrier free and Construction Permits from SFMO)

Have the plans been reviewed & approved by the Caribou Fire Chief? ( ) Yes (X) No

Does the building have an automatic sprinkler system? ( ) Yes (X) No

Does the building have an automatic fire detection system? ( ) Yes (X) No

Will the development require a hydrant or dry hydrant fire pond? ( ) Yes (X) No

**Concept Plan Review Criterion**

The Planning Board shall review applications first as a Concept Plan. Concept Plan Review is intended to insure the proposed plan is in conformance with the Caribou Comprehensive Plan and all City Ordinances. The completed application and concept plans shall be delivered to the Code Enforcement Office no less than 21 days prior to the first day of the next month. The

Chairman of the Planning Board shall determine the schedule and agenda of the next meeting when the application and plans will receive Concept Plan Review. At a minimum, Concept Plan applications shall include the following:

1.     \_\_\_     Name and address of the owner of record and applicant (if different).
2.     \_\_\_     Name of the proposed development and location.
3.     \_\_\_     Names and addresses of all property owners within 500 feet of the property.
4.     \_\_\_     A copy of the deed to the property, option to purchase the property, or other documentation to demonstrate right, title, or interest in the property on the part of the applicant.
5.     \_\_\_     Names and addresses of all consultants working on the project.
6.     \_\_\_     1 complete set of plans, 24" X 36" & 10 complete sets of plans, 11" X 17"  
                  Plans to be included:  
                          Boundary Survey  
                          Storm Water Management  
                          Erosion and Sediment Control  
                          Finish Grading Plan  
                          Site Improvement Detail  
                          Building Elevations and Structural Plans
7.     **Plans to show the following elements for review:**
  - \_\_\_     a.     Graphic scale and north arrow.
  - \_\_\_     b.     Location and dimensions of any existing or proposed easements and copies of existing covenants or deed restrictions.
  - \_\_\_     c.     Name, registration number, and seal of the land surveyor, architect, engineer, and/or similar professional who prepared the Plan.
  - \_\_\_     d.     All property boundaries, land area, and zoning designations of the site, regardless of whether all or part is being developed at this time.
  - \_\_\_     e.     Size, shape, and location of existing and proposed buildings on the site including dimensions of the buildings and setbacks from property lines.
  - \_\_\_     f.     Access for Emergency Vehicles, location and layout design of vehicular parking, circulation areas, loading areas, and walkways including curb cuts, driveways, parking space and vehicle turn around areas.
  - \_\_\_     g.     Location and names of streets and rights-of-way within 200' and adjacent to the proposed development.
  - \_\_\_     h.     Proposed finish grades and graphic arrows indicating the direction of storm water runoff.
  - \_\_\_     i.     Conceptual treatment of on and off site storm water management facilities.
  - \_\_\_     j.     Location and sizes of existing and proposed sewer and water services including connections.
  - \_\_\_     k.     Conceptual treatment of landscaping buffers, screens, and plantings.

- \_\_\_ 1. Location of outdoor storage areas, fences, signage and accessory structures.
- \_\_\_ m. Context map illustrating the area surrounding the site which will be affected by the proposal including all streets, sidewalks, intersections, storm water drainage ways, sanitary sewer lines and pump stations, nearby properties and buildings, zoning Districts, and geographic features such as, but not limited to, wetlands, natural features, historic sites, flood plains, significant scenic areas, and significant wildlife habitats as provided in the Comprehensive Plan.
- \_\_\_ n. All proposed signage and exterior lighting including the location, size and wording of all signs, type of exterior lights, radius of light, manufacturer's specifications sheet, and the ground level intensity in foot- candles of all exterior lights.

**Final Site Design Plan Requirements**

Following approval of the Concept Plan Review, the Planning Board may by majority vote schedule the Site Design Application for Final Plan Review. Final Plan Review must be at least 30 days following Concept Plan Approval. If additional information is required by the Planning Board following the Concept Plan Review, a complete set of revised plans shall be provided for final review and approval. If additional information or a change of information is required, the revised plans shall be delivered to the Code Enforcement Office at least 21 days prior to the next scheduled meeting.

Final Site Design Plan Review shall require three (3) 24" X 36" sets of plans for Board Signatures.

If the Planning Board determines that third party review will be necessary to make a sound decision, the applicant will be responsible for any fees incurred for the third party review.

During the Final Site Design Review the Chairman or designee shall determine that all of the elements of review 7-a., through 7-n. above have been addressed. The chair may then call for a motion.

If the Final Plan is approved by the Planning Board, no work may commence for a period of 30 days following the date of approval.

Final Site Design Plans shall provide an area designated for all seven Planning Board members signatures.

**Applicant Signature:**

**To the best of my knowledge, all of the information submitted in this application is true and correct.**

Signature of Applicant: \_\_\_\_\_ Date: \_\_\_\_\_

**Final Site Design Review Criteria by Planning Board**

Date: _____	<u>Yes</u>	<u>No</u>	<u>N/A</u>
A. Conformance with Comprehensive Plan	_____	_____	_____
B. Traffic	_____	_____	_____
C. Site Access	_____	_____	_____
D. Parking & Vehicle Circulation	_____	_____	_____
	<u>Yes</u>	<u>No</u>	<u>N/A</u>
E. Pedestrian Circulation	_____	_____	_____
F. Site Conditions	_____	_____	_____
G. Open Space	_____	_____	_____
H. Sanitary Sewage	_____	_____	_____
I. Water	_____	_____	_____
J. Emergency Vehicle Access	_____	_____	_____
K. Waste Disposal	_____	_____	_____
L. Buffering	_____	_____	_____
M. Natural Areas	_____	_____	_____
N. Exterior Lighting	_____	_____	_____
O. Stormwater Management	_____	_____	_____
P. Erosion & Sediment Control	_____	_____	_____
Q. Buildings	_____	_____	_____
R. Existing Landscaping	_____	_____	_____
S. Infrastructure	_____	_____	_____
T. Advertising Features	_____	_____	_____
U. Design Relationship to Site & Surrounding Properties	_____	_____	_____

V.	Scenic Vistas & Areas	_____	_____	_____
W.	Utilities	_____	_____	_____
X.	Mineral Exploration	_____	_____	_____
Y.	General Requirements	(Pg. 859)	_____	_____
Z.	Phosphorus Export	_____	_____	_____

**City of Caribou, Maine  
Planning Board**

Site Design Review for: \_\_\_\_\_  
 Address: \_\_\_\_\_

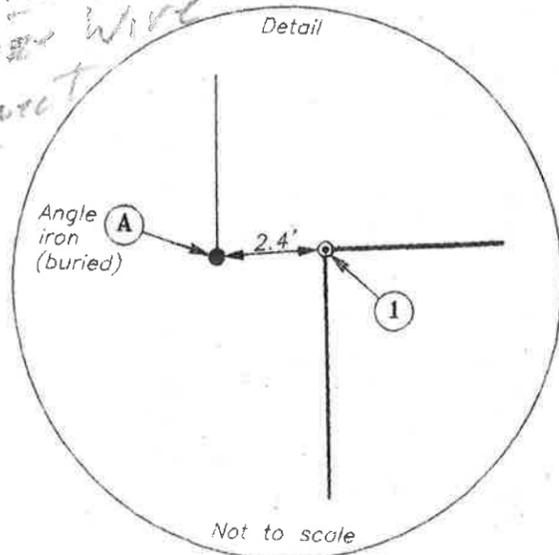
**Approved by the Caribou Planning Board**

Signed: \_\_\_\_\_ Chairman of the Planning Board  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Date: \_\_\_\_ / \_\_\_\_ / \_\_\_\_

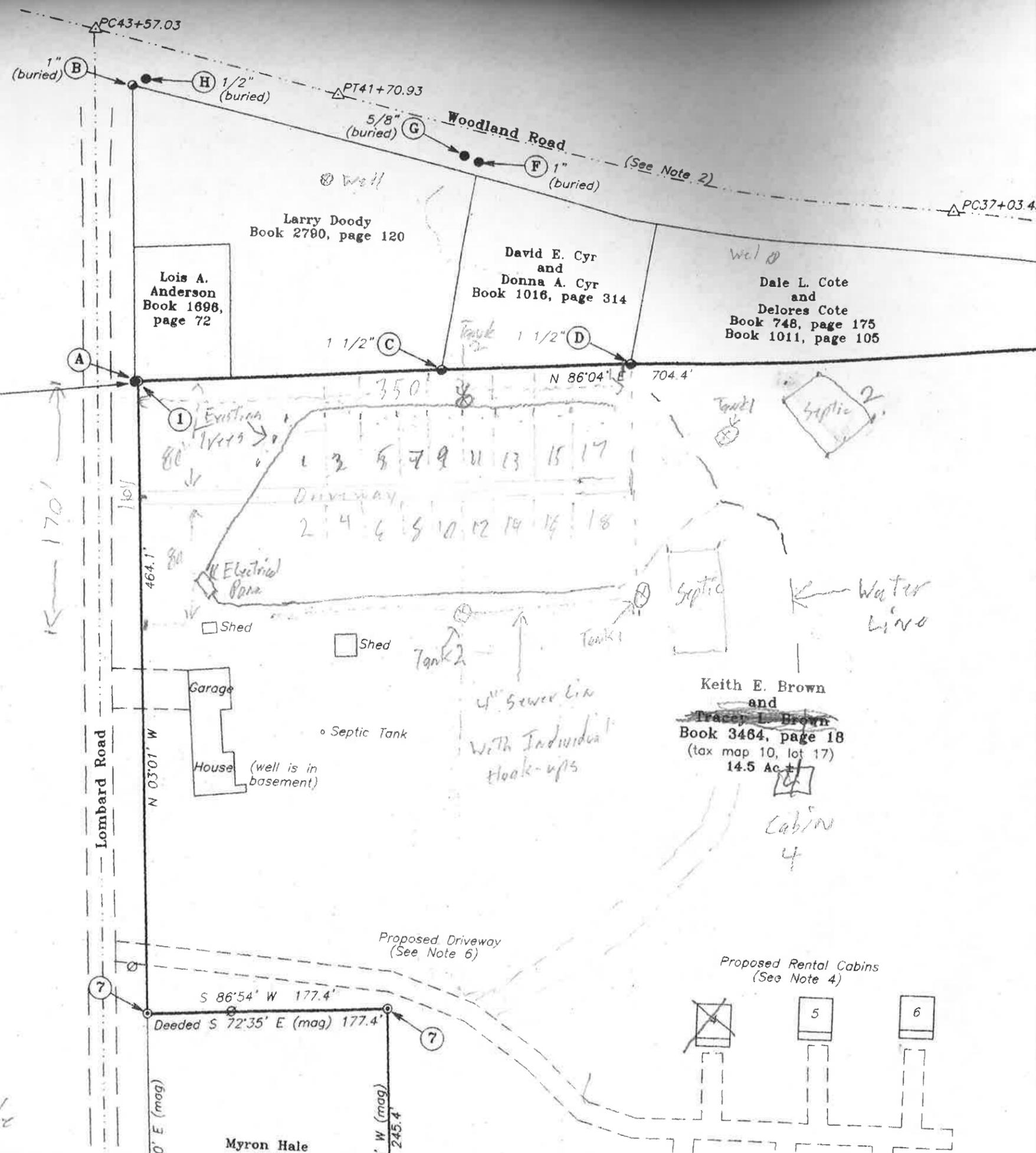
**Conditions of Approval:**  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Electrical Panel  
 Will be sized correctly  
 by Licensed Electrician  
 with Individual Feeds Run to  
 each site with proper size wire  
 and Breaker Disconnect  
 and proper outlet  
 sizes



Septic 2 will be mirrored  
 with Tanks and Sewer line  
 on Back side. Set Tank 2 - 15' off Property Line

Water Line will extend out off  
 Cabin 4 and Tee off and Run  
 in Ground with Individual Hook-up for each side



# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. Health & Human Services  
Div of Environmental Health - 11 SHS  
(207) 287-5672 Fax: (207) 287-4172

<b>PROPERTY LOCATION</b>		<b>&gt;&gt; CAUTION: LPI APPROVAL REQUIRED &lt;&lt;</b>	
City, Town, or Plantation	CARIBOU	Town/City _____	Permit # _____
Street or Road	263 LOMBARD RD	Date Permit Issued <u>  </u> / <u>  </u> / <u>  </u>	Fee: \$ _____ Double Fee Charged [ ]
Subdivision, Lot #	SYSTEM #1 of 2	Local Plumbing Inspector Signature _____	L.P.I. # _____
<b>OWNER/APPLICANT INFORMATION</b>		Owner _____	Town _____ State _____
Name (last, first, MI)	BROWN, KEITH	The Subsurface Wastewater Disposal System shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.	
Mailing Address of Owner/Applicant	263 LOMBARD RD CARIBOU, ME 04736	Municipal Tax Map # _____	Lot # _____
Daytime Tel. #	498-2800	<b>CAUTION: INSPECTION REQUIRED</b>	
I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.		I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.	
Signature of Owner or Applicant _____ Date _____		Local Plumbing Inspector Signature _____ (1st) date approved _____	

PERMIT INFORMATION			
<b>TYPE OF APPLICATION</b> <input checked="" type="checkbox"/> 1. First Time System 2. Replacement System Type replaced: _____ Year installed: _____ 3. Expanded System a. <25% Expansion b. >25% Expansion 4. Experimental System 5. Seasonal Conversion	<b>THIS APPLICATION REQUIRES</b> <input checked="" type="checkbox"/> 1. No Rule Variance 2. First Time System Variance a. Local Plumbing Inspector Approval b. State & Local Plumbing Inspector Approval 3. Replacement System Variance a. Local Plumbing Inspector Approval b. State & Local Plumbing Inspector Approval 4. Minimum Lot Size Variance 5. Seasonal Conversion Permit	<b>DISPOSAL SYSTEM COMPONENTS</b> <input checked="" type="checkbox"/> 1. Complete Non-engineered System 2. Primitive System (graywater & alt. toilet) 3. Alternative Toilet, specify: _____ 4. Non-engineered Treatment Tank (only) 5. Holding Tank, _____ gallons 6. Non-engineered Disposal Field (only) 7. Separated Laundry System 8. Complete Engineered System (2000 gpd or more) 9. Engineered Treatment Tank (only) 10. Engineered Disposal Field (only) 11. Pre-treatment, specify: _____ 12. Miscellaneous Components	<b>TYPE OF WATER SUPPLY</b> <input checked="" type="checkbox"/> 1. Drilled Well    2. Dug Well    3. Private 4. Public    5. Other
<b>SIZE OF PROPERTY</b> 14 SQ. FT. ACRES	<b>DISPOSAL SYSTEM TO SERVE</b> 1. Single Family Dwelling Unit, No. of Bedrooms: _____ 2. Multiple Family Dwelling, No. of Units: _____ <input checked="" type="checkbox"/> 3. Other: <u>CAMPGROUND - RV</u> (specify) Current Use <input checked="" type="checkbox"/> Seasonal    Year Round    Undeveloped		
<b>SHORELAND ZONING</b> Yes    No			

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)			
<b>TREATMENT TANK</b> <input checked="" type="checkbox"/> 1. Concrete <input checked="" type="checkbox"/> a. Regular b. Low Profile 2. Plastic 3. Other: _____ CAPACITY: <u>20,000</u> GAL.	<b>DISPOSAL FIELD TYPE &amp; SIZE</b> <input checked="" type="checkbox"/> 1. Stone Bed    2. Stone Trench 3. Proprietary Device: a. cluster array    c. Linear b. regular load    d. H-20 load 4. Other: _____ SIZE: <u>2250</u> sq. ft.    lin. ft.	<b>GARBAGE DISPOSAL UNIT</b> <input checked="" type="checkbox"/> 1. No    2. Yes    3. Maybe If Yes or Maybe, specify one below: a. multi-compartment tank b. _____ tanks in series c. increase in tank capacity d. Filter on Tank Outlet	<b>DESIGN FLOW</b> <u>675</u> gallons per day BASED ON: <input checked="" type="checkbox"/> 1. Table 4A (dwelling unit(s)) <input checked="" type="checkbox"/> 2. Table 4C (other facilities) SHOW CALCULATIONS for other facilities <u>9 RV SITES X 75 GPD = 675 GPD</u> 3. Section 4G (meter readings) ATTACH WATER METER DATA
<b>SOIL DATA &amp; DESIGN CLASS</b> PROFILE CONDITION: <u>31C</u> at Observation Hole # <u>TP-1</u> Depth <u>24"</u> of Most Limiting Soil Factor	<b>DISPOSAL FIELD SIZING</b> 1. Medium: 2.6 sq. ft. / gpd <input checked="" type="checkbox"/> 2. Medium--Large 3.3 sq. ft. / gpd 3. Large--4.1 sq. ft. / gpd 4. Extra Large--5.0 sq. ft. / gpd	<b>EFFLUENT/EJECTOR PUMP</b> <input checked="" type="checkbox"/> 1. Not Required 2. May Be Required 3. Required Specify only for engineered systems: DOSE: _____ gallons	<b>LATITUDE AND LONGITUDE</b> at center of disposal area Lat. <u>46</u> d <u>52</u> m <u>02</u> W Lon. <u>68</u> d <u>02</u> m <u>32</u> W if g.p.s. state margin of error: <u>20'</u> +/-

SITE EVALUATOR STATEMENT	
I certify that on <u>5/20/15</u> (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-14A CMR 241).	
Site Evaluator Signature  Site Evaluator Name Printed	SE # <u>#213</u> Date <u>6/16/15</u> Telephone Number <u>(207) 825-4792</u> E-mail Address _____

# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Health & Human Services  
 Division of Environmental Health  
 (207) 287-5672 Fax: (207) 287-3165

Town, City, Plantation

Street, Road, Subdivision

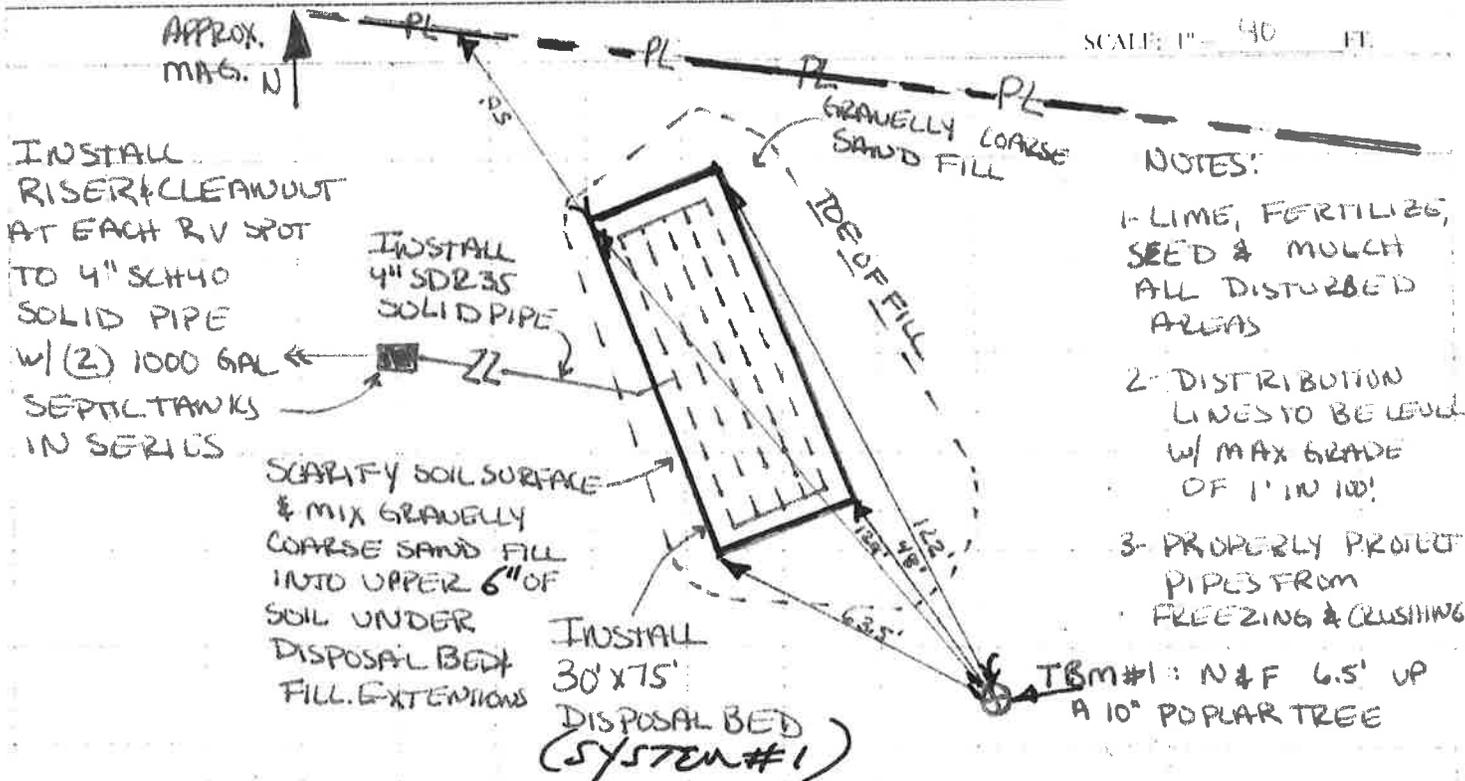
Owner's Name

CARIBOU

SYSTEM #1 of 2  
 263 LOMBARD RD

KEITH BROWN

## SUBSURFACE WASTEWATER DISPOSAL PLAN



### FILL REQUIREMENTS

	N	S
Depth of Fill (Upslope)	12"	32"
Depth of Fill (Downslope)	29"	49"

### CONSTRUCTION ELEVATIONS

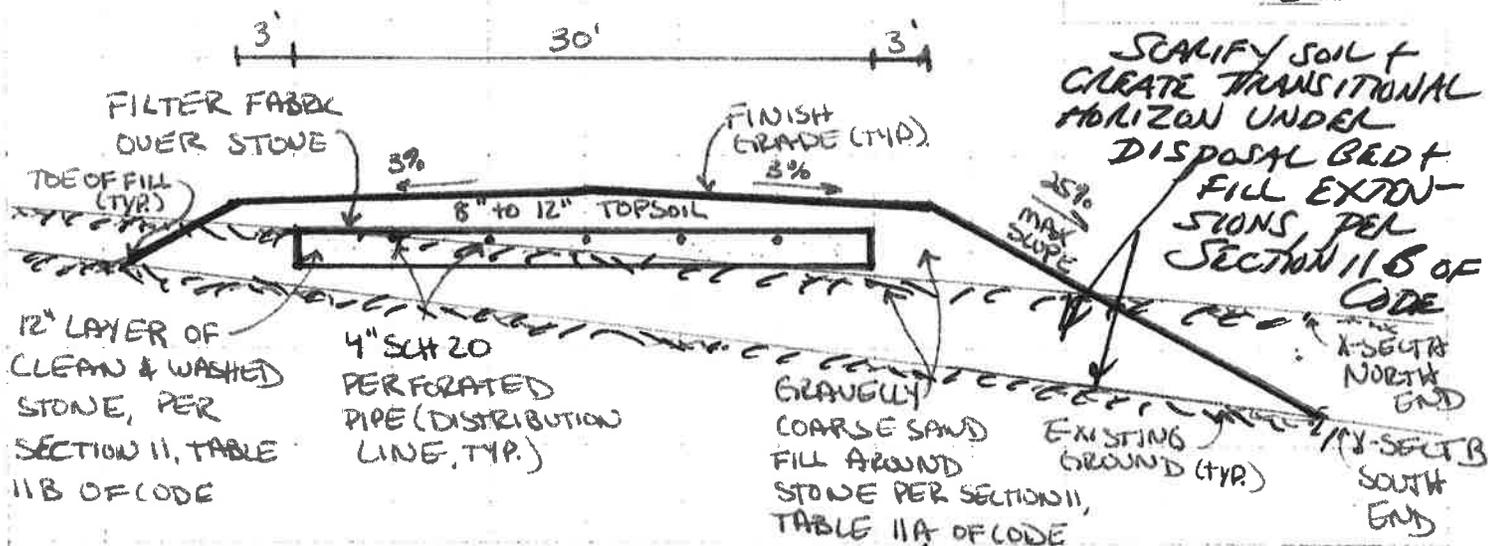
Finished Grade Elevation	-6"
Top of Distribution Pipe or Proprietary Device	-19"
Bottom of Disposal Area	-30"

### ELEVATION REFERENCE POINT

Location & Description: TBM #1: 6.5' UP 10" POPLAR TREE

Reference Elevation: 0"

### DISPOSAL AREA CROSS SECTION



Scale

Horizontal 1" = 10' ft.

Vertical 1" = 5' ft.

Site Evaluator Signature

#213

SE #

6/16/15

Date

# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Dept. Health & Human Services  
 Div of Environmental Health, 11 SHS  
 (207) 287-5672 Fax: (207) 287-4172

PROPERTY LOCATION		>> CAUTION: LPI APPROVAL REQUIRED <<	
City, Town, or Plantation	CARIBOU	Town/City _____	Permit # _____
Street or Road	263 LOMBARD RD	Date Permit Issued <u>1/1</u>	Fee: \$ _____ Double Fee Charged [ ]
Subdivision, Lot #	SYSTEM # 2 of 2	_____	L.P.I. # _____
OWNER/APPLICANT INFORMATION		Local Plumbing Inspector Signature _____	
Name (last, first, MI)	BROWN, KEITH	Owner	Town
Mailing Address of Owner/Applicant	263 LOMBARD RD CARIBOU, ME 04736	State	
Daytime Tel. #	498-2800	Municipal Tax Map # _____ Lot # _____	
<b>OWNER OR APPLICANT STATEMENT</b>		<b>CAUTION: INSPECTION REQUIRED</b>	
I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.		I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.	
Signature of Owner or Applicant _____		Local Plumbing Inspector Signature _____	
Date _____		(1st) date approved _____	
		(2nd) date approved _____	

PERMIT INFORMATION			
<b>TYPE OF APPLICATION</b> <input checked="" type="checkbox"/> 1. First Time System 2. Replacement System Type replaced: _____ Year installed: _____ 3. Expanded System a. <25% Expansion b. >25% Expansion 4. Experimental System 5. Seasonal Conversion	<b>THIS APPLICATION REQUIRES</b> <input checked="" type="checkbox"/> 1. No Rule Variance 2. First Time System Variance a. Local Plumbing Inspector Approval b. State & Local Plumbing Inspector Approval 3. Replacement System Variance a. Local Plumbing Inspector Approval b. State & Local Plumbing Inspector Approval 4. Minimum Lot Size Variance 5. Seasonal Conversion Permit	<b>DISPOSAL SYSTEM COMPONENTS</b> <input checked="" type="checkbox"/> 1. Complete Non-engineered System 2. Primitive System (graywater & alt. toilet) 3. Alternative Toilet, specify: _____ 4. Non-engineered Treatment Tank (only) 5. Holding Tank _____ gallons 6. Non-engineered Disposal Field (only) 7. Separated Laundry System 8. Complete Engineered System (2000 gpd or more) 9. Engineered Treatment Tank (only) 10. Engineered Disposal Field (only) 11. Pre-treatment, specify: _____ 12. Miscellaneous Components	<b>TYPE OF WATER SUPPLY</b> <input checked="" type="checkbox"/> 1. Drilled Well    2. Dug Well    3. Private 4. Public    5. Other
<b>SIZE OF PROPERTY</b> 14 SQ. FT. ACRES	<b>DISPOSAL SYSTEM TO SERVE</b> 1. Single Family Dwelling Unit, No. of Bedrooms: _____ 2. Multiple Family Dwelling, No. of Units: _____ <input checked="" type="checkbox"/> 3. Other: <u>CAMPGROUND - RVs</u> (specify)	<b>SHORELAND ZONING</b> Yes <input checked="" type="checkbox"/> No	
Current Use <input checked="" type="checkbox"/> Seasonal <input type="checkbox"/> Year Round <input type="checkbox"/> Undeveloped			

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)			
<b>TREATMENT TANK</b> <input checked="" type="checkbox"/> 1. Concrete <input checked="" type="checkbox"/> a. Regular b. Low Profile c. Plastic d. Other: CAPACITY: <u>20,000 GAL.</u> <u>2000 TOTAL</u>	<b>DISPOSAL FIELD TYPE &amp; SIZE</b> <input checked="" type="checkbox"/> 1. Stone Bed    2. Stone Trench 3. Proprietary Device a. cluster array    c. Linear b. regular load    d. H-20 load 4. Other: SIZE: <u>2250</u> x sq. ft.    lin. ft.	<b>GARBAGE DISPOSAL UNIT</b> <input checked="" type="checkbox"/> 1. No    2. Yes    3. Maybe If Yes or Maybe, specify one below: a. multi-compartment tank b. _____ tanks in series c. increase in tank capacity d. Filter on Tank Outlet	<b>DESIGN FLOW</b> <u>675</u> gallons per day BASED ON: <input checked="" type="checkbox"/> 1. Table 4A (dwelling unit(s)) <input checked="" type="checkbox"/> 2. Table 4C (other facilities) SHOW CALCULATIONS for other facilities <u>9 RV SITES x 75 GPD = 675 GPD</u>
<b>SOIL DATA &amp; DESIGN CLASS</b> PROFILE CONDITION <u>3 / C</u> at Observation Hole # <u>TP-1</u> Depth <u>24"</u> of Most Limiting Soil Factor	<b>DISPOSAL FIELD SIZING</b> - 1. Medium---2.6 sq. ft. / gpd <input checked="" type="checkbox"/> 2. Medium---Large 3.3 sq. ft. / gpd - 3. Large---4.1 sq. ft. / gpd - 4. Extra Large---5.0 sq. ft. / gpd	<b>EFFLUENT/EJECTOR PUMP</b> <input checked="" type="checkbox"/> 1. Not Required 2. May Be Required 3. Required Specify only for engineered systems DOSE: _____ gallons	<b>LATITUDE AND LONGITUDE</b> at center of disposal area Lat. <u>46</u> d <u>52</u> m <u>01</u> N Lon. <u>68</u> d <u>02</u> m <u>34</u> W if g.p.s. state margin of error: <u>30' +/-</u>

SITE EVALUATOR STATEMENT	
I certify that on <u>5/28/15</u> (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).	
Site Evaluator Signature <u>STEPHEN H. HOWELL</u>	SE # <u>#213</u> Date <u>6/16/15</u>
Site Evaluator Name Printed	Telephone Number <u>(207) 825-4792</u> E-mail Address _____

**SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION**

Department of Health & Human Services  
 Division of Environmental Health  
 (207) 287-5672 Fax: (207) 287-3165

Town, City, Plantation

CARIBOU  
 SITE PLAN

Street, Road, Subdivision

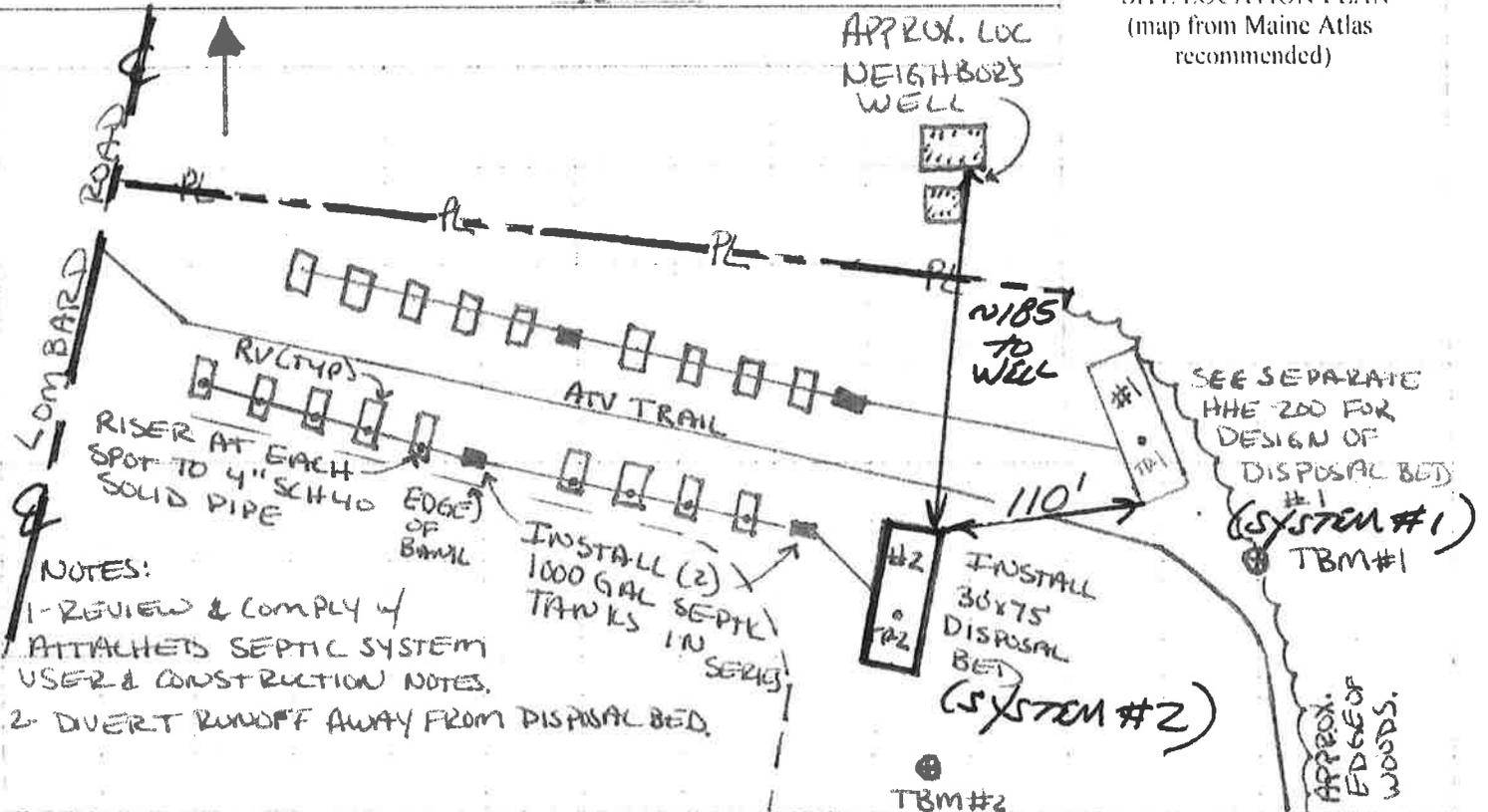
SYSTEM # 2 of 2  
 263 LOMBARD ROAD

Owner's Name

KEITH BROWN

Scale 1" = 100' ft. or as shown

SITE LOCATION PLAN  
 (map from Maine Atlas recommended)



**SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)**

Observation Hole TP-2 x Test Pit : Boring  
2 " Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
GRULLY LOAM	FRIABLE	BROWN	NONE
V. GRULLY LOAM		LIGHT OLIVE BROWN	
LIMIT OF ORGANIC = 25"			

Observation Hole \_\_\_\_\_ Test Pit \_\_\_\_\_ Boring \_\_\_\_\_  
 " Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling

Soil Classification 3 C Slope 5 " Limiting Factor 24  
 Profile Condition

Soil Classification \_\_\_\_\_ Slope \_\_\_\_\_ " Limiting Factor \_\_\_\_\_  
 Profile Condition \_\_\_\_\_

Site Evaluator Signature

# 213  
 SE #

6/16/15  
 Date

# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Health & Human Services  
 Division of Environmental Health  
 (207) 287-5672 Fax: (207) 287-3165

Town, City, Plantation

Street, Road, Subdivision

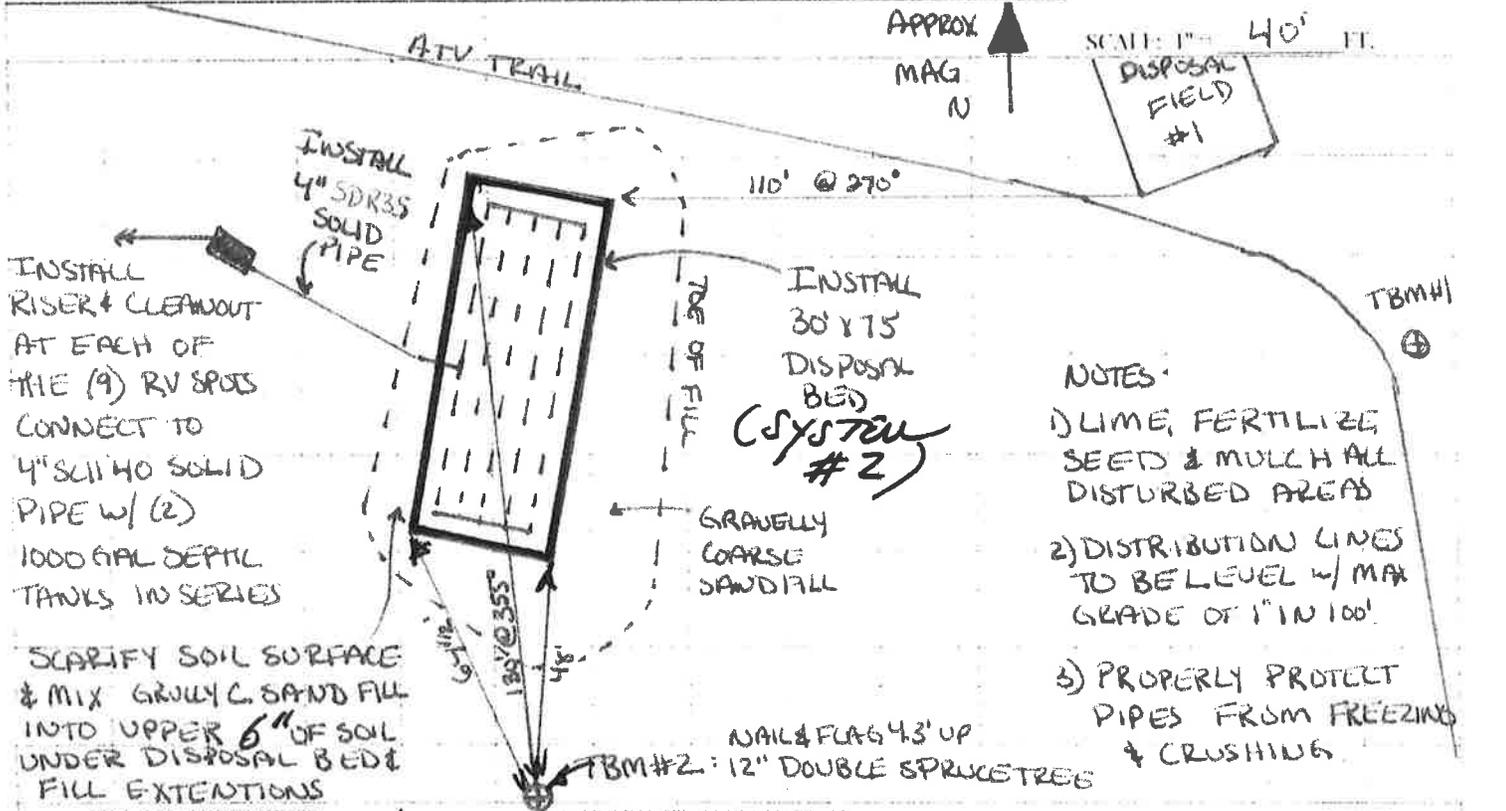
Owner's Name

CARIBOU

SYSTEM # 2 of 2  
 263 LOMBARD RD

KEITH BROWN

## SUBSURFACE WASTEWATER DISPOSAL PLAN



FILL REQUIREMENTS

Depth of Fill (Upslope)	29" 12"
Depth of Fill (Downslope)	46" 32"

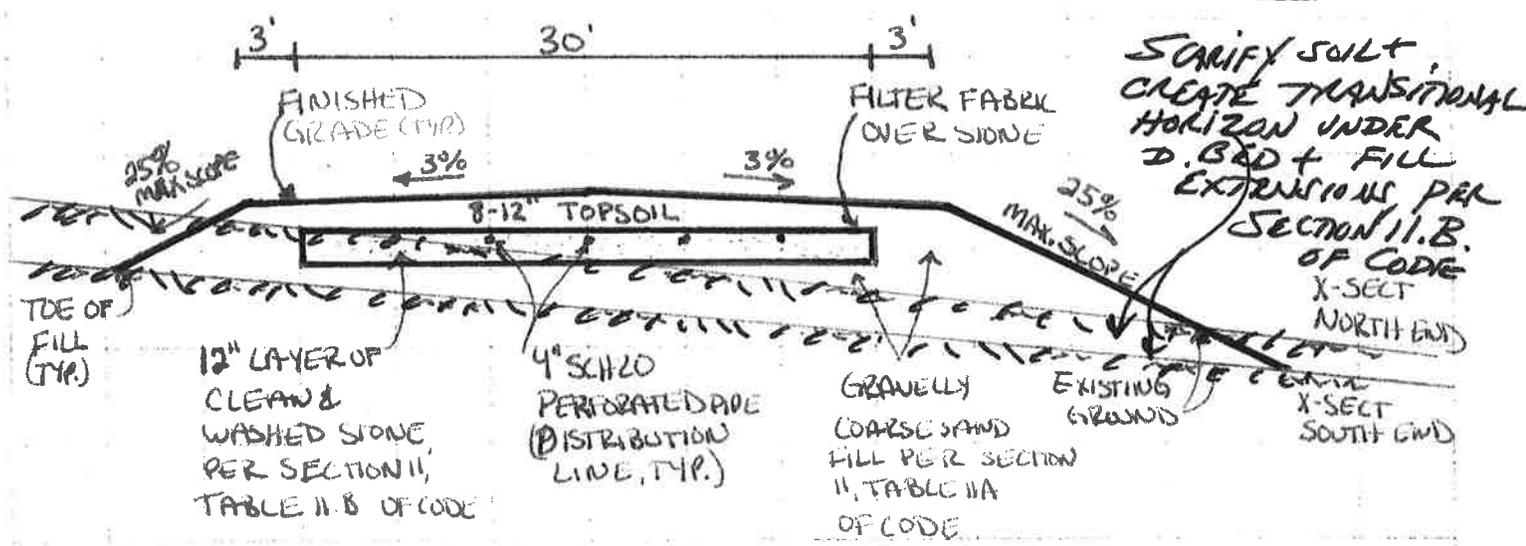
CONSTRUCTION ELEVATIONS

Finished Grade Elevation	-10"
Top of Distribution Pipe or Proprietary Device	-23"
Bottom of Disposal Area	-34"

ELEVATION REFERENCE POINT  
 Location & Description: TBM #2 NAIL & FLAG 4.3' UP A 12" SPRUCE TREE  
 Reference Elevation: 0"

### DISPOSAL AREA CROSS SECTION

Scale  
 Horizontal 1" = 10 ft.  
 Vertical 1" = 5 ft.



Site Evaluator Signature

# 213 6/16/15  
 SE # Date