



City of Caribou, Maine

AGENDA Caribou Planning Board Regular Meeting Thursday, May 10, 2018 at 5:30 p.m. City Council Chambers

*Municipal Building
25 High Street
Caribou, ME 04736
Telephone (207) 493-3324
Fax (207) 498-3954
www.cariboumaine.org*

- I. Call Meeting to Order
- II. Approval of minutes from the April 12, 2018 Planning Board meeting. Pgs. 1-2
- III. New Business
 - a. KJK Wireless building permit. Pgs. 3-13
 - b. Tower Resource Management building permit Pgs. 14-28
- IV. Land Use Table
- V. New Communications
 - a. Update on Skyway Plaza, Lot 4 project. Pgs. 29-32
 - b. Code Enforcement violations and actions.
- VI. Staff Report
 - a. Updates from Code Enforcement Officer/Zoning Administrator.
 - b. Update on Public Safety Building Study.
- VII. Other Business
 - a. Continue work on Chapter 13, Zoning of Caribou Code
- VIII. Adjournment



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Caribou Planning Board Meeting Minutes Thursday, April 12, 2018 @ 5:30 pm City Council Chambers

Members Present: Robert White, Phil Cyr, Philip McDonough III, Evan Graves, Todd Pelletier and Thomas Ayer

Members Absent: Matthew Hunter

Others Present: Ken Murchison –CEO & Zoning Administrator, Dennis Marker –City Manager, Josh Cheney and Denise Lausier –Executive Assistant to the City Manager

- I. Call Meeting to Order** –The meeting was called to order at 5:30 pm.
- II. Approval of minutes from the March 15, 2018 Planning Board meeting** – Thomas Ayer requested an amendment to the minutes. Mr. Ayer has not acquired his federal firearms license yet, he is going to apply. Phil Cyr moved to accept the minutes with amendment; seconded by Todd Pelletier. Motion carried with all in favor.
- III. Public Hearing -**
 - a. Final review of a Home Occupation Application from Thomas Ayer, d/b/a Farmer's Rebellion, LLC to sell firearms and ammunition at 910 Grimes Road in Caribou, Tax Map 6, Lot 31C** – Chairman Robert White gave an overview on this application. Thomas Ayer would like to open a firearms business at 910 Grimes Road, Caribou. His application has been reviewed by the Planning Board. The public hearing has been advertised and neighbors were notified. The property is in the R-3 zone. With no public comments, the public hearing closed at 5:32 pm. Thomas Ayer left the room as the Board discussed his application.

Evan Graves moved to approve the application with conditions that any applicable ADA requirements will be met; seconded by Phil Cyr. Motion carried with all in favor.
- IV. New Business -**
 - a. Consider scheduling a Public Hearing for a Use Permit Application from David and Kimberly Ripley for sales and service of overhead garage doors at 320 Bowles Road in Caribou, Tax Map 15, Lot 6C** – Ken Murchison gave an overview on the application. The property is in the R-3 zone and the permit fee has been paid. It is close to the resource protection area surrounding the little Madawaska river, but the building they will be doing business in is outside the 250 foot Resource Protection District associated with the river. Ken stated that the application is good and complete. It is upon condition of the sale of the property. Realtor Josh Cheney was present to answer questions on behalf of the applicant.

Phil Cyr moved to approve the application; seconded by Evan Graves.

Josh Cheney explained it will be for storage and service trucks that will park inside over night with one to two dozen visitors per month. The Board looked at retail use versus warehouse use and the parking requirements for each. Josh Cheney explained that the retail space will be a ten foot section of wall displaying panels, the rest being warehouse and parking stalls.

After discussion, the motion was amended by Phil Cyr to approve the application based on it being a warehouse with retail being an ancillary activity; seconded by Evan Graves. Motion carried with all in favor.

V. New Communications -

- a. Home Occupation Application from Marilee Scott, d/b/a Bethesda Project Fitness for Personal Training at 515 Main Street, Apt #6 in Caribou, Tax Map 25, Lot 85** – Ken Murchison explained this application was approved by him as the Code Enforcement Officer. She will be doing the office work at home and going to people's homes for personal training for both physical and spiritual needs. If it grows, she may rent space at CPT or the Wellness Center.
- b. Use Permit Application from Sonia Jean Calloway for a Hair Salon at 539 Main Street, Suite 3 in Caribou, Tax Map 25, Lot 3** – This application also was approved by Ken Murchison as Code Enforcement Officer. It's a re-establishing of a beauty salon at 539 Main Street with the condition upon the inspection for State licensure.

VI. Staff Report -

- a. Code Enforcement Monthly Report** – Ken Murchison shared with the Board his monthly Code Enforcement report that he submitted to the City Council.

VII. Planning Board Training – None.

VIII. Other Business -

- a. Continue work on Chapter 13, Zoning of Caribou Code – Land Use Table** – The Board continued their work on the land use table. Dennis Marker was available for questions that the Board had on some of his suggestions.

IX. Adjournment – Philip McDonough III moved to adjourn the meeting; seconded by Thomas Ayer. Motion carried with all in favor. Meeting adjourned at 6:42 pm.

Respectfully Submitted,

Philip McDonough III
Planning Board Secretary

PM/dl



City of Caribou, Maine

Municipal Building
25 High Street
Caribou, ME 04736
Telephone: (207) 493-3324
Fax: (207) 498-3954
www.cariboumaine.org

April 12, 2018

Shannon McManus
127 Ridge Road
Nashua, NH 03062

RE: Building Permit Application

Shannon McManus,

We are writing to acknowledge your March 20, 2018 Building Permit Application, located on Map 08 Lot 033A in the R-3 District at 271 Fort Fairfield Road, Caribou, Maine, will be forwarded to City of Caribou Planning Board for their consideration at the May 10, 2018 Planning Board meeting.

As represented in your Use Permit Application submitted for CEO approval, we find that this land use is compatible with the definitions in the 2015 International Building Code as adopted by the City of Caribou Code, Chapter 31 Special Construction Section 3108 Telecommunication and Broadcast Towers, 3108.1 General and 3108.2 Access.

We understand that you are proposing the installation of new equipment on the existing tower.

Please let me know if you have any questions regarding this process or if I may be of any further assistance.

Best of luck in your venture.

Sincerely,

Kenneth Murchison
Zoning administrator
Code Enforcement Officer

CC: Penny Thompson, Tax Assessor
Tony Michaud, Deputy Building Official



Sec. 13-770 Wireless Telecommunications Facilities.

Section 1. Title

This Ordinance shall be known as the "Wireless Telecommunications Facilities Ordinance" of Caribou, Maine.

Section 2. Authority

This ordinance is adopted pursuant to the enabling provisions of Article VIII, Part 2, Section 1 of the Maine Constitution; the provisions of Title 30-A M.R.S.A. Section 3001 (Home Rule), and the provisions of the Planning and Land Use Regulation Act, Title 30-A M.R.S.A. Section 4312 et seq.

Section 3. Purpose

The purpose of this ordinance is to provide a process and a set of standards for the construction of wireless telecommunications facilities.

Section 4. Applicability

This local land use ordinance applies to all construction and expansion of wireless telecommunications facilities, except as provided in section 4.1.

4.1. Exemptions

The following are exempt from the provisions of this ordinance:

- A.) Emergency temporary wireless communication facilities for emergency communications by public officials.
- B.) Amateur (ham) radio stations. Amateur (ham) radio stations licensed by the Federal Communications Commission (FCC).
- C.) Parabolic antenna. Parabolic antennas less than seven (7) feet in diameter, that are an accessory use of the property.
- D.) Maintenance or repair. Maintenance, repair or reconstruction of a wireless telecommunications facility and related equipment, provided that there is no change in the height or any other dimension of the facility.
- E.) Temporary wireless telecommunications facilities in operation not to exceed a maximum of one hundred eighty (180) days per calendar year.
- F.) Antennas as Accessory Uses. An antenna that is an accessory use to a residential dwelling unit.

Section 5. Review and Approval Authority

5.1. Approval Required

No person shall construct or expand a wireless telecommunication facility without first obtaining a "Building Permit" from the Code Enforcement Officer (CEO) as required by the City of Caribou's adopted Maine Uniform Building Code, Section 105 of the 2009 International Building Code. Review of the Site Design Application under this ordinance, by the CEO, does not constitute a Building Permit.

City of Caribou
----- Receipt -----

04/12/18 2:02 PM ID:KJH
TYPE----- REF---
BUILDING PERMITS
BOLB PER LOCAL
Total: 50.00\$
Paid By: SHANNON MCMAHON (KJK WIREL
Remainins Balance: 0.00
Check : 50.00
685 - 50.00

Code Enforcement - Inspections
Permit Fee Payments at front counter - first floor.

Date: April 12, 2018

Customer Name: Shannon McManus
KJK Wireless

13 - Building Permit: Flat \$50 fee \$50.00

14 - Plumbing permit: 75% Caribou _____

25% State _____

Shellfish Surcharge: \$15.00 (full system – external only) _____

53 – Zoning Document fee: _____

54 – Site Design Application: \$90 + \$10 / 2000 sq ft _____

55 – Board of Appeals Application: _____

56 – Certificate of Occupancy: \$25.00 _____

57 – Demolition Permit: \$25.00 – waived if received in advance _____

58 – Sign Permit: \$50.00 per sign X _____ = _____

59 – Subdivision Application: \$180 (first three) + \$10/each add'l _____

61 – Heating Equip. Installation Permit: \$20.00 each X _____ = _____

62 – Misc. Inspection Service: \$40.00 each X _____ = _____

TOTAL: \$ 50.00

Plumbing Inspections: Please call Steve Wentworth, LPI 551-1007

Building Inspections: Please call Tony 493-5966

Planning Board agenda items: Please call Ken 493-5967



KJK WIRELESS

Shannon McManus
Site Acquisition Consultant

127 Ridge Road
Nashua, NH 03062
Shannon@kjkwireless.com

Office: (603) 821-1511
Mobile: (617) 388-2252
Fax: (603) 386-6106



127 Ridge Road | Nashua, NH 03062 | (603)888-8974 Office | (603) 386-6106

March 20, 2018

City of Caribou
Caribou Municipal Building
25 High Street
Caribou, ME 04736

RE: Building Permit for Site Address: 271 Fort Fairfield Road / 444356 Caribou

Enclosed please find the Building Permit Application, check for \$50.00, and plans for US Cellular's addition of equipment on their cell tower located at 271 Fort Fairfield Road. If you have any questions, please email me at shannon@kjkwireless.com or call me at 617-388-2252.

Please mail the Building Permit and Receipt to:

Shannon McManus
PO Box 86
Grantham, NH 03753

Thanks,
Shannon McManus
Agent for US Cellular

CITY OF CARIBOU
BUILDING PERMIT APPLICATION
207-493-3324 ext. 3

DATE APPLICATION RECEIVED: _____

No permits will be issued prior to 3 working days from receipt of application.

PROPERTY OWNER

Property Owner: US Cellular
Property Address: 271 Fort Fairfield Rd.
Mailing Address: PO Box 86, Grantham NH 03753
Ph: _____ Cell: 617-388-2252

CONTRACTOR(S)

General Contractor: Pat Heelan
Ph: _____ Cell: 207-415-2107
Excavating Contractor: _____
Ph: _____ Cell: _____
Foundation Contractor: _____
Ph: _____ Cell: _____

PROJECT DESCRIPTION

Adding 6 new antennas, 2 Hybrid cables, 12 Diplexers, 2 Surge Arrestors, and 12 Radio units to existing installation on cell tower.

All Public Buildings require State Fire Marshal's Approval.
Please ask for a SFMO Permit Application.

ESTIMATED COST OF PROJECT

\$ 35,000

OFFICE USE ONLY

Permit Number: _____

Issue Date: _____

Fee: \$ 50.00

Approved By: RGN 4/12/18

Map # 08 Lot # 033A

Zone: R-3

Setbacks:

Front _____ Rear _____ Sides _____

Special Zones:

- ☐ Shoreland
☐ Flood Zone
☐ Wetland
☐ Wellhead Protection District

BUILDING INFORMATION

Number of Stories:

_____ Present
_____ Proposed
_____ Total

Height of Buildings:

_____ Present
_____ Proposed
_____ Total

Number of Bathrooms:

	FULL	HALF
Present	_____	_____
Proposed	_____	_____
Total	_____	_____

Number of Bedrooms:

_____ Present
_____ Proposed
_____ Total

Present Septic System is approved for _____ Bedrooms

Type of Use (Check one)

- ☐ Year Round
☐ Seasonal

Residential Site Plan:

Please indicate all of the following items on the site plan:

Exact position of all new construction and existing structures (including accessory structures).

- Setback distances from property lines to all structures (front, back, and sides)
- Location of well and septic system including distances from structures and property lines
- Area to be cleared of trees and other vegetation
- Any wetlands or water bodies and setback distances from shoreline if applicable

Note: For all projects in the shoreland zone involving filling, grading or other soil disturbance, you must provide a soil erosion control plan describing the measures to be taken to stabilize areas before, during, and after construction.

Note: The State of Maine has adopted the following codes and standards and has mandated that Caribou enforce these codes as well as all existing fire and life safety codes as of December 1, 2010:

2009 International Building Code
2009 International Residential Code
2009 International Energy Conservation Code
2009 International Existing Building Code
2007 ASHRAE 62.1, Commercial Ventilation Standard
2007 ASHRAE 62.2, Residential Ventilation Standard
2007 ASHRAE 90.1, Commercial Energy Standard
2006 ASTM E 1465, Radon Code

Building Plans:

Note: All new construction of both Residential and Commercial structures now requires a complete set of Building Plans and Energy Conservation Detail Plans.

Floor Plan & Elevations
Complete Foundation
Radon Collection System
Complete Framing for Floors, Walls, Roof System, Stairways & Decks
Energy Conservation Detail for Basement Slab, Walls, Ceiling, Windows & Doors,

Note: All new construction of Commercial & Residential structures now require a complete set of Building Plans and Energy Conservation Detail Plan. Commercial building plans must be stamped by a Maine Licensed Professional Engineer or Architect. COMcheck Compliance Certificate is required for commercial projects. REScheck Compliance Certificate is required for residential construction.

Note: Storage and similar small buildings of 120 square feet or less do not require building permits.

SIGNATURE & POLICY PAGE

ADDITIONAL REQUIREMENTS FOR NEW CONSTRUCTION ON AN UNDEVELOPED SITE

1. Property location, street address, map and lot number from City Assessor
2. Curb Cut / Culvert Permit from Public Works or MDOT
3. Sub Surface Waste Water Design, HHE-200 (if applicable)
4. Copy of Deed, Lease, or Purchase & Sale Agreement (for undeveloped lot)

Please read and initial each item below, sign, and date the application

CAN I understand that building permits do not include plumbing, septic, or electrical work.

CAN I understand that building permits are valid for one year.

CAN I agree to comply with all applicable Building Codes, Energy Conservation Codes, Fire Codes & the 2006 Life Safety Code.

CAN I understand that my building(s) cannot be within the set back from my property line.

CAN I agree to schedule all inspections and get written permission before backfilling the foundation.

CAN I agree to schedule an inspection of the Radon Control System prior to placement of the basement slab.

CAN I will not close in the walls until the framing, insulation, vapor barrier, electrical, and plumbing has been inspected.

CAN I authorize inspections necessary to insure compliance with regulations.

CAN I understand that a Certificate of Occupancy is required prior to occupying the building.

CAN I certify that all information given in this application is accurate and complete.

Shan Gilson
Applicant Signature

3/20/18
Date

BUILDING PERMIT FEES

Effective 1/1/2017: \$50

All building permits – now a flat \$50 permit fee

It is our policy to review and process applications as quickly as possible to ensure code compliance for your safety as well as the safety of others. Fees will be collected when your permit is issued. We accept cash or checks made payable to the City of Caribou.

ADDITIONAL PERMITS, APPROVALS, AND INSPECTIONS REQUIRED

- | | | |
|---|--|---|
| <input type="checkbox"/> Plumbing Permit | <input type="checkbox"/> Swimming Pool Permit | <input type="checkbox"/> Fire Marshall's Office |
| <input type="checkbox"/> Electrical Permit | <input type="checkbox"/> Sign Permit | <input type="checkbox"/> MDOT |
| <input type="checkbox"/> Septic/HHE200 Permit | <input type="checkbox"/> Culvert (Public Works) | <input type="checkbox"/> DEP |
| <input type="checkbox"/> Septic Variance | <input type="checkbox"/> Curb Cut (Public Works) | <input type="checkbox"/> EPA |
| <input type="checkbox"/> Planning Board | <input type="checkbox"/> Road Opening (Public Works) | <input type="checkbox"/> ARMY Corp of Engineers |
| <input type="checkbox"/> Board of Appeals | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Wetland |

OFFICE USE ONLY

This application is

☒ **APPROVED**

The following conditions are prescribed:

☐ **DENIED**

Reason for denial:

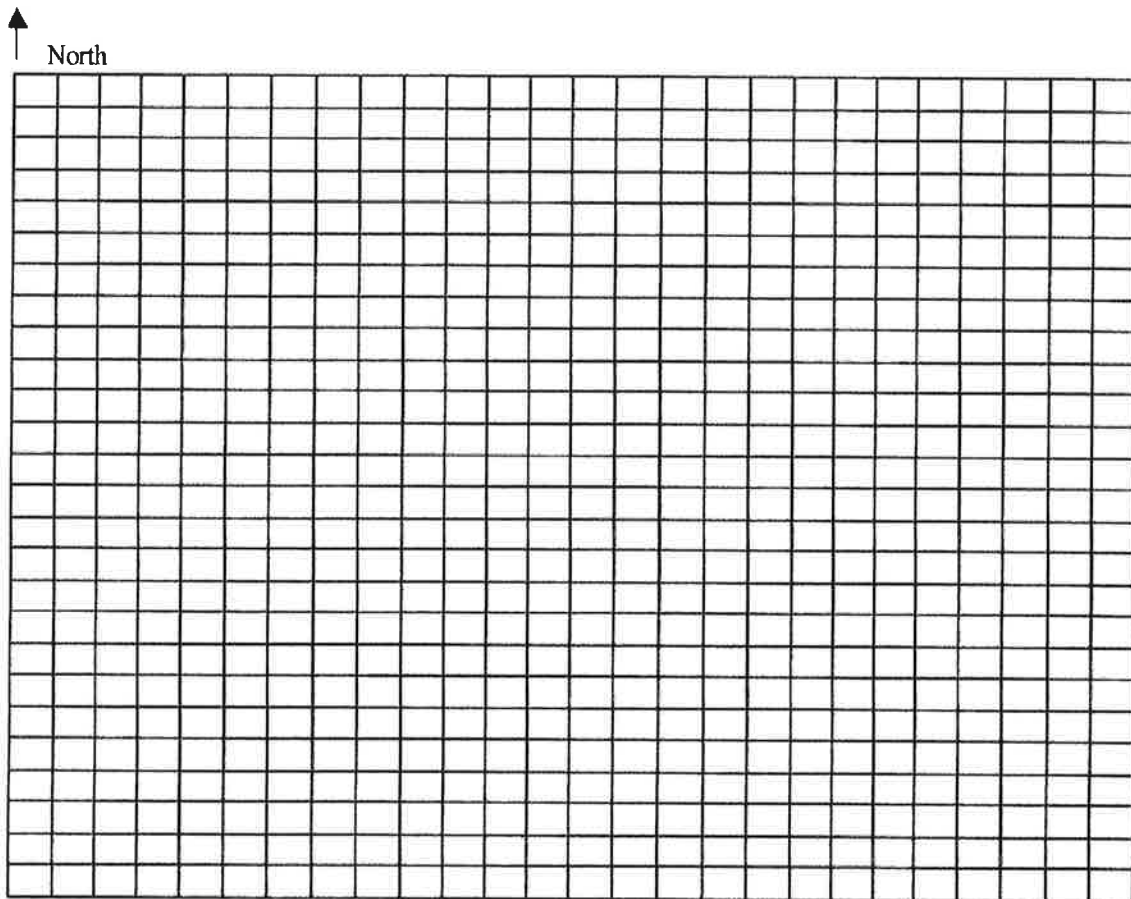
Building Official

Date

SCHEDULE OF INSPECTIONS

INSPECTION	DATE	INSPECTOR	INSPECTION NOTES
<input type="checkbox"/> Footings	_____	_____	_____
<input type="checkbox"/> Foundation	_____	_____	_____
<input type="checkbox"/> Radon	_____	_____	_____
<input type="checkbox"/> Framing	_____	_____	_____
<input type="checkbox"/> Insulation	_____	_____	_____
<input type="checkbox"/> Plumbing	_____	_____	_____
<input type="checkbox"/> Electrical	_____	_____	_____
<input type="checkbox"/> Septic	_____	_____	_____
<input type="checkbox"/> Final Occupancy	_____	_____	_____
<input type="checkbox"/> _____	_____	_____	_____
<input type="checkbox"/> _____	_____	_____	_____

PLEASE INCLUDE: Lot lines, area to be cleared of trees and other vegetation; the exact position of proposed structures, including decks, porches, and outbuildings with accurate setback distances from the shoreline, side and rear property lines; the location of proposed wells, septic systems; and driveways; and areas and amounts to be filled or graded. If the proposal is for the expansion of an existing structure, please distinguish between the existing structure and the proposed expansion.



Scale: _____ Ft.

Code Enforcement - Inspections
Permit Fee Payments at front counter - first floor.

Date: May 5, 2018

Customer Name: Tower Resource Management

\$

13 - Building Permit:	Flat \$50 fee	<u>50.00</u>
14 - Plumbing permit:	75% Caribou	<u> </u>
	25% State	<u> </u>
Shellfish Surcharge: \$15.00 (full system – external only)		<u> </u>
53 – Zoning Document fee:		<u> </u>
54 – Site Design Application: \$90 + \$10 / 2000 sq ft		<u> </u>
55 – Board of Appeals Application:		<u> </u>
56 – Certificate of Occupancy: \$25.00		<u> </u>
57 – Demolition Permit: \$25.00 – waived if received in advance		<u> </u>
58 – Sign Permit:	\$50.00 per sign X <u> </u> =	<u> </u>
59 – Subdivision Application: \$180 (first three) + \$10/each add'l		<u> </u>
61 – Heating Equip. Installation Permit: \$20.00 each X <u> </u> =		<u> </u>
62 – Misc. Inspection Service:	\$40.00 each X <u> </u> =	<u> </u>

TOTAL: \$ 50.00

Plumbing Inspections: Please call Steve Wentworth, LPI 551-1007

Building Inspections: Please call Tony 493-5966

Planning Board agenda items: Please call Ken 493-5967

City of Caribou
----- Receipt -----

DATE	TIME	BY	ID	REF	AMOUNT
05/04/18	11:00 AM		CJK	MS269-1	
BUILDING PERMITS					
DOLLS PER LOCAL					50.00
Total: 50.00					
Paid By: Town Resource Management					
Remaining Balance: 0.00					

Check # 50.00
1017 - 50.00

CITY OF CARIBOU

BUILDING PERMIT APPLICATION

207-493-3324 ext. 3

DATE APPLICATION RECEIVED: _____
 No permits will be issued prior to 3 working days from receipt of application.

PROPERTY OWNER

Property Owner: Time Warner Cable of Maine
 Property Address: 214 Baird Road
 Mailing Address: 118 Johnson Rd, Portland, ME 04102
 Ph: _____ Cell: _____

CONTRACTOR(S)

General Contractor: Dave Sykes
 Ph: 603-717-7117 x 35 Cell: _____
 Excavating Contractor: n/a
 Ph: _____ Cell: _____
 Foundation Contractor: n/a
 Ph: _____ Cell: _____

PROJECT DESCRIPTION

Modification to existing telecommunications facility.
 Removing and replacing (6) antennas and (3)
 TMAs. Adding (3) antennas, (3) RRHs and (1) HCS cable

All Public Buildings require State Fire Marshal's Approval.
 Please ask for a SFMO Permit Application.

ESTIMATED COST OF PROJECT

\$ 15,000

OFFICE USE ONLY

Permit Number: _____
 Issue Date: _____
 Fee: \$ _____
 Approved By: _____

Map # 015 Lot # 046-A

Zone: R-3

Setbacks:

Front Rear Sides

Special Zones:

- ☐ Shoreland
- ☐ Flood Zone
- ☐ Wetland
- ☐ Wellhead Protection District

BUILDING INFORMATION

Number of Stories:

____ Present
 ____ Proposed
 ____ Total

Height of Buildings:

____ Present
 ____ Proposed
 ____ Total

Number of Bathrooms:

	FULL	HALF
Present	____	____
Proposed	____	____
Total	____	____

Number of Bedrooms:

____ Present
 ____ Proposed
 ____ Total

Present Septic System is
 approved for _____ Bedrooms

Type of Use (Check one)

- ☐ Year Round
- ☐ Seasonal

SIGNATURE & POLICY PAGE

ADDITIONAL REQUIREMENTS FOR NEW CONSTRUCTION ON AN UNDEVELOPED SITE

1. Property location, street address, map and lot number from City Assessor
2. Curb Cut / Culvert Permit from Public Works or MDOT
3. Sub Surface Waste Water Design, HHE-200 (if applicable)
4. Copy of Deed, Lease, or Purchase & Sale Agreement (for undeveloped lot)

Please read and initial each item below, sign, and date the application

_____ I understand that building permits do not include plumbing, septic, or electrical work.

_____ I understand that building permits are valid for one year.

_____ I agree to comply with all applicable Building Codes, Energy Conservation Codes, Fire Codes & the 2009 Life Safety Code.

_____ I understand that my building(s) cannot be within the set back from my property line.

_____ I agree to schedule all inspections and get written permission before backfilling the foundation.

_____ I agree to schedule an inspection of the Radon Control System prior to placement of the basement slab.

_____ I will not close in the walls until the framing, insulation, vapor barrier, electrical, and plumbing has been inspected.

_____ I authorize inspections necessary to insure compliance with regulations.

_____ I understand that a Certificate of Occupancy is required prior to occupying the building.

_____ I certify that all information given in this application is accurate and complete.

Applicant Signature

Date

BUILDING PERMIT FEES

Effective 1/1/2017: \$50

All building permits – now a flat \$50 permit fee

It is our policy to review and process applications as quickly as possible to ensure code compliance for your safety as well as the safety of others. Fees will be collected when your permit is issued. We accept cash or checks made payable to the City of Caribou.

ADDITIONAL PERMITS, APPROVALS, AND INSPECTIONS REQUIRED

- | | | |
|---|--|---|
| <input type="checkbox"/> Plumbing Permit | <input type="checkbox"/> Swimming Pool Permit | <input type="checkbox"/> Fire Marshall's Office |
| <input type="checkbox"/> Electrical Permit | <input type="checkbox"/> Sign Permit | <input type="checkbox"/> MDOT |
| <input type="checkbox"/> Septic/HHE200 Permit | <input type="checkbox"/> Culvert (Public Works) | <input type="checkbox"/> DEP |
| <input type="checkbox"/> Septic Variance | <input type="checkbox"/> Curb Cut (Public Works) | <input type="checkbox"/> EPA |
| <input type="checkbox"/> Planning Board | <input type="checkbox"/> Road Opening (Public Works) | <input type="checkbox"/> ARMY Corp of Engineers |
| <input type="checkbox"/> Board of Appeals | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Wetland |

OFFICE USE ONLY

This application is

☐ **APPROVED**

The following conditions are prescribed:

☐ **DENIED**

Reason for denial:

Building Official

Date

SCHEDULE OF INSPECTIONS

INSPECTION	DATE	INSPECTOR	INSPECTION NOTES
<input type="checkbox"/> Footings	_____	_____	_____
<input type="checkbox"/> Foundation	_____	_____	_____
<input type="checkbox"/> Radon	_____	_____	_____
<input type="checkbox"/> Framing	_____	_____	_____
<input type="checkbox"/> Insulation	_____	_____	_____
<input type="checkbox"/> Plumbing	_____	_____	_____
<input type="checkbox"/> Electrical	_____	_____	_____
<input type="checkbox"/> Septic	_____	_____	_____
<input type="checkbox"/> Final Occupancy	_____	_____	_____
<input type="checkbox"/> _____	_____	_____	_____
<input type="checkbox"/> _____	_____	_____	_____

FRONT OR REAR ELEVATION

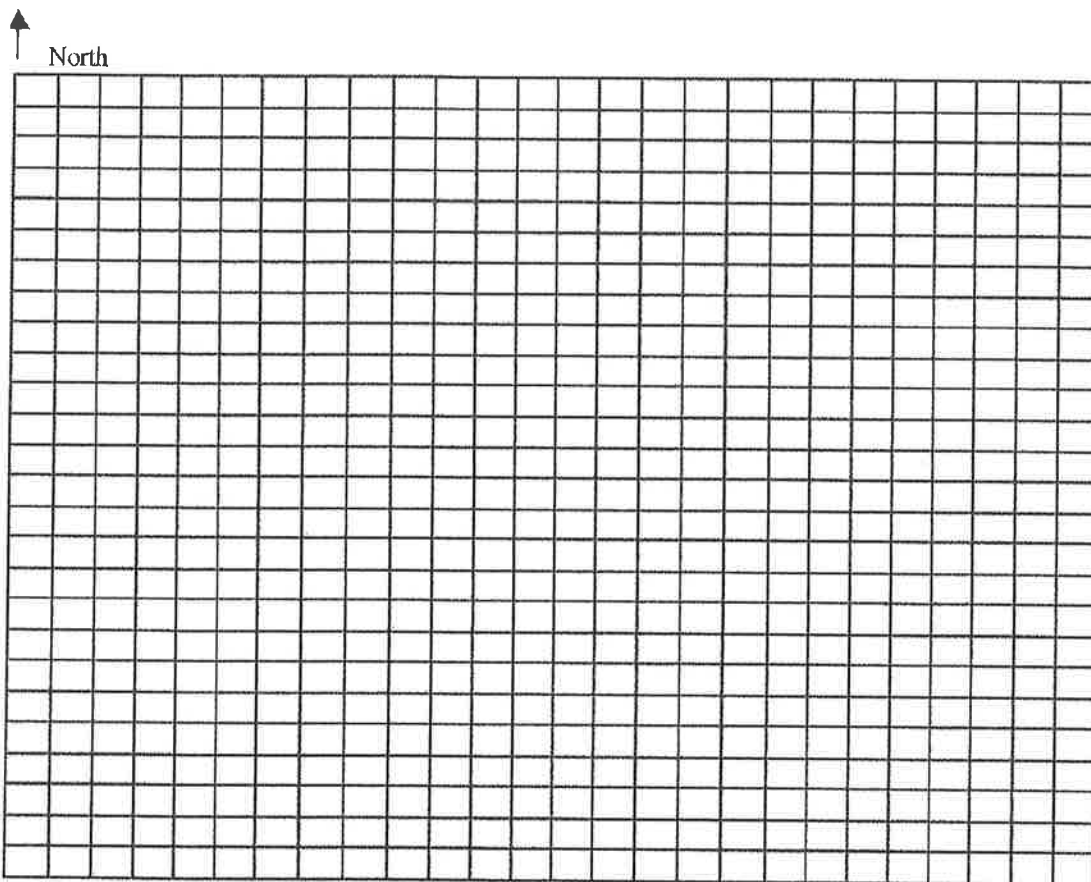
please see attached

SIDE ELEVATION



please see attached

Draw a simple sketch showing both the existing and proposed structures.

PLEASE INCLUDE: Lot lines, area to be cleared of trees and other vegetation; the exact position of proposed structures, including decks, porches, and outbuildings with accurate setback distances from the shoreline, side and rear property lines; the location of proposed wells, septic systems; and driveways; and areas and amounts to be filled or graded. If the proposal is for the expansion of an existing structure, please distinguish between the existing structure and the proposed expansion.



Scale: _____ = _____ Ft.

PROJECT INFORMATION		<div style="border: 1px solid black; padding: 5px; display: inline-block;"> APPROVED By SHANE BRUNEAU at 4:25 pm, Jul 16, 2017 </div>																																														
SCOPE OF WORK:	UNMANNED TELECOMMUNICATIONS FACILITY MODIFICATIONS	SITE NUMBER: 4PQ0902A SITE NAME: PQ902/TIME WARNER CARIBOU 214 BAIRD ROAD CARIBOU, ME 04736 AROOSTOCK COUNTY																																														
SITE ADDRESS:	214 BAIRD ROAD CARIBOU, ME 04736																																															
LATITUDE:	46° 52' 58" N																																															
LONGITUDE:	-67° 57' 51" W																																															
JURISDICTION:	NATIONAL, STATE & LOCAL CODES OR ORDINANCES																																															
CURRENT USE:	TELECOMMUNICATIONS FACILITY																																															
PROPOSED USE:	TELECOMMUNICATIONS FACILITY																																															
DESIGN GUIDELINE:	6004G																																															
DRAWING INDEX		REV	LOCUS MAP																																													
T-1	TITLE SHEET	0																																														
GN-1	GENERAL NOTES	0																																														
A-1	COMPOUND & EQUIPMENT PLANS	0																																														
A-2	ELEVATION	0																																														
A-3	ANTENNA PLANS	0																																														
A-4	DETAILS	0																																														
S-1	STRUCTURAL DETAILS	0																																														
G-1	GROUNDING, ONE-LINE DIAGRAM & DETAILS	0																																														
SIGNATURES																																																
CONSTRUCTION	DATE																																															
RF ENGINEERING	DATE																																															
ZONING / SITE ACQ.	DATE																																															
OPERATIONS	DATE																																															
LANDLORD	DATE																																															
																																																
EG ADVANCED ENGINEERING GROUP, P.C. Civil Engineering • Site Development • Surveying • Telecommunications 300 North Broadway East Providence, RI 02914 Phone: (401) 254-2493 Fax: (401) 613-6356		TRM Convergent Network Solutions TOWER RESOURCE MANAGEMENT 18 CHESTNUT STREET FOXBOROUGH, MA 02035																																														
SITE NUMBER: 4PQ0902A SITE NAME: PQ902/TIME WARNER CARIBOU 214 BAIRD ROAD CARIBOU, ME 04736 AROOSTOCK COUNTY		T-MOBILE NORTHEAST LLC 15 COMMERCE WAY, SUITE B NORTON, MA 02766 OFFICE: (508) 286-2700 FAX: (508) 286-2893																																														
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>REVISIONS</th> <th>BY</th> <th>CHK</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>06/28/17</td> <td>ISSUED FOR REVIEW</td> <td>SHB</td> <td>SHB</td> </tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>		NO.	DATE	REVISIONS	BY	CHK	0	06/28/17	ISSUED FOR REVIEW	SHB	SHB																																				<div style="text-align: center;">  DIG SAFE SYSTEM, INC.  </div> <div style="text-align: center;"> CALL BEFORE YOU DIG CALL TOLL FREE: 811 OR 888-DIG-SAFE </div>	
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UNDERGROUND SERVICE ALERT		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2" style="text-align: center;">TITLE SHEET</td> </tr> <tr> <td style="width: 50%;">SHEET NO.</td> <td style="width: 50%; text-align: center;">T-1</td> </tr> </table>		TITLE SHEET		SHEET NO.	T-1																																									
TITLE SHEET																																																
SHEET NO.	T-1																																															

GENERAL NOTES

1. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
2. THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BEARING THE JOB IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
3. THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE LESSEE/LICENSEE REPRESENTATIVE OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.
4. THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ALL OTHER MATERIALS AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
5. THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE CONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS / CONTRACT DOCUMENTS.
7. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S / VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
8. THE CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
9. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY CONSTRUCTION CONTROL SURVEYS, ESTABLISHING AND MAINTAINING ALL LINES AND GRADES REQUIRED TO CONSTRUCT ALL IMPROVEMENTS AS SHOWN HEREIN.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY OR LOCAL GOVERNMENT AUTHORITY.
12. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
13. THE CONTRACTOR SHALL KEEP THE GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, RUBBER AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SALADERS OF ANY NATURE.
14. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
15. THE CONTRACTOR SHALL NOTIFY THE LESSEE/LICENSEE REPRESENTATIVE WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED BY THE LESSEE/LICENSEE REPRESENTATIVE.
16. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.
17. ALL UNDERGROUND UTILITY INFORMATION WAS DETERMINED FROM SURFACE INVESTIGATIONS AND EXISTING PLANS OF RECORD. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO ANY SITE WORK. CALL THE FOLLOWING FOR ALL PRE-CONSTRUCTION NOTIFICATION 72-HOURS PRIOR TO ANY EXCAVATION ACTIVITY: DIG SAFE SYSTEM (MA, ME, MA, RI, VT): 1-888-344-7233 CALL BEFORE YOU DIG (CT): 1-800-922-4455
18. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY CONSTRUCTION CONTROL SURVEYS AND MAINTAINING ALL LINES AND GRADES REQUIRED TO CONSTRUCT ALL IMPROVEMENTS SHOWN HEREIN.
19. ALL DIMENSIONS SHOWN THUS ± ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS WHICH EFFECT THE CONTRACTORS WORK. CONTRACTOR TO VERIFY ALL DIMENSIONS WITH PROJECT OWNER PRIOR TO CONSTRUCTION.
20. NORTH ARROW SHOWN ON PLANS REFERS TO APPROXIMATE TRUE NORTH. PRIOR TO THE START OF CONSTRUCTION, ORDERING OR FABRICATING OF ANTENNA MOUNTS, CONTRACTOR SHALL CONSULT WITH PROJECT OWNER'S RF ENGINEER AND FIELD VERIFY ALL ANTENNA SECTOR LOCATIONS AND ANTENNA AZIMUTHS.
21. THE CONTRACTOR AND OR HIS SUB CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY OR LOCAL GOVERNMENT AUTHORITY.
22. ANTENNA INSTALLATION SHALL BE CONDUCTED BY FIELD CREWS EXPERIENCED IN THE ASSEMBLY AND ERECTION OF RADIO ANTENNAS, TRANSMISSION LINES AND SUPPORT STRUCTURES.
23. COAXIAL CABLE CONNECTORS AND TRANSMITTER EQUIPMENT SHALL BE PROVIDED BY THE PROJECT OWNER AND IS NOT INCLUDED IN THESE CONSTRUCTION DOCUMENTS. A SCHEDULE OF PROJECT OWNER SUPPLIED MATERIALS IS ATTACHED TO THE BID DOCUMENTS (SEE EXHIBIT 3). ALL OTHER HARDWARE TO BE PROVIDED BY THE CONTRACTOR. CONNECTION HARDWARE SHALL BE STAINLESS STEEL.
24. WHEN "PAINT TO MATCH" IS SPECIFIED FOR ANTENNA CONCEALMENT, PAINT PRODUCT FOR ANTENNA PAINTING SHALL BE SHERWIN WILLIAMS CORTHWAY II. SURFACE PREPARATION AND APPLICATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND PROJECT OWNER'S GUIDELINES.
25. COORDINATION, LAYOUT, AND FURNISHING OF CONDUIT, CABLE AND ALL APPURTENANCES REQUIRED FOR PROPER INSTALLATION OF ELECTRICAL AND TELECOMMUNICATION SERVICE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
26. ALL UTILITY WORK SHALL BE IN ACCORDANCE WITH LOCAL UTILITY COMPANY REQUIREMENTS AND SPECIFICATIONS.
27. ALL (E)ACTIVE SINKER, WATER, GAS, ELECTRIC, AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY ENGINEERS. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW.

28. ALL (E)ACTIVE SINKER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CHIPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF UTILITY COMPANY ENGINEERING. THE AREAS OF THE PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE EQUIPMENT, DRAINAGE OR

29. GRAVEL SHALL BE GRADED TO A UNIFORM SLOPE, FERTILIZED, SEEDED AND COVERED WITH MULCH UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL ESTABLISH AND MAINTAIN SOIL EROSION AND SEDIMENTATION CONTROLS AT ALL TIMES

30. DURING CONSTRUCTION, PER FCC MANDATE, ENHANCED EMERGENCY (E911) SERVICE IS REQUIRED TO MEET NATIONWIDE STANDARDS

31. FOR WIRELESS COMMUNICATIONS SYSTEMS, PROJECT OWNER'S IMPLEMENTATION REQUIRES DEPLOYMENT OF EQUIPMENT AND ANTENNAS GENERALLY DEPICTED ON THIS PLAN, ATTACHED TO OR MOUNTED IN CLOSE PROXIMITY TO THE BTS RADIO CABINETS. PROJECT OWNER RESERVES THE RIGHT TO MAKE REASONABLE MODIFICATIONS TO E911 EQUIPMENT AND LOCATION AS TECHNOLOGY EVOLVES TO MEET REQUIRED SPECIFICATIONS.

32. APPLICABLE BUILDING CODES:

SUBCONTRACTOR'S WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (AHJ) FOR THE LOCATION. THE EDITION OF THE AHJ ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF CONTRACT AWARD SHALL GOVERN THE DESIGN.

BUILDING CODE:

MAINE UNIFORM BUILDING & ENERGY CODE (MUBEC):
2009 INTERNATIONAL RESIDENTIAL CODE (IRC)
2009 INTERNATIONAL BUILDING CODE (IBC)
2009 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
2009 INTERNATIONAL ENERGY CONSERVATION CODE
NFPA 780 2014
LOCAL CODE AS REQUIRED

SUBCONTRACTOR'S WORK SHALL COMPLY WITH THE LATEST EDITION OF THE FOLLOWING STANDARDS:

AMERICAN CONCRETE INSTITUTE (ACI) 318; BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE;

AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)

MANUAL OF STEEL CONSTRUCTION, ASD, NINTH EDITION;

TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-G, STRUCTURAL STANDARDS FOR STEEL

ANTENNA TOWER AND ANTENNA SUPPORTING STRUCTURES; REFER TO ELECTRICAL DRAWINGS FOR SPECIFIC ELECTRICAL STANDARDS.

FOR ANY CONFLICTS BETWEEN SECTIONS OF LISTED CODES AND STANDARDS REGARDING MATERIAL, METHODS OF CONSTRUCTION, OR OTHER REQUIREMENTS, THE MOST RESTRICTIVE REQUIREMENT SHALL GOVERN. WHERE THERE IS CONFLICT BETWEEN A GENERAL REQUIREMENT AND A SPECIFIC REQUIREMENT, THE SPECIFIC REQUIREMENT SHALL GOVERN.

ELECTRICAL AND GROUNDING NOTES

1. ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (NEC) AS WELL AS APPLICABLE STATE AND LOCAL CODES.

2. ALL ELECTRICAL ITEMS SHALL BE U.L. APPROVED OR LISTED AND PROCURED PER SPECIFICATION REQUIREMENTS.

3. THE ELECTRICAL WORK INCLUDES ALL LABOR AND MATERIAL DESCRIBED BY DRAWINGS AND SPECIFICATION INCLUDING INCIDENTAL WORK TO PROVIDE COMPLETE OPERATING AND APPROVED ELECTRICAL SYSTEM.

4. GENERAL CONTRACTOR SHALL PAY FEES FOR PERMITS, AND IS RESPONSIBLE FOR OBTAINING SAID PERMITS AND COORDINATION OF INSPECTIONS.

5. ELECTRICAL AND TELCO WIRING OUTSIDE A BUILDING AND EXPOSED TO WEATHER SHALL BE IN WATER TIGHT GALVANIZED RIGID STEEL CONDUITS OR SCHEDULE 80 PVC (AS PERMITTED BY CODE) AND WHERE REQUIRED IN LIQUID TIGHT FLEXIBLE METAL OR NONMETALLIC CONDUITS.

6. BURIED CONDUIT SHALL BE SCHEDULE 40 PVC.

7. ELECTRICAL WIRING SHALL BE COPPER WITH TYPE XSW, THWN, OR THHN INSULATION.

8. RUN TELCO CONDUIT OR CABLE BETWEEN ELECTRICAL UTILITY DEMARCATION POINT AND PROJECT OWNER CELL SITE PPC AS INDICATED ON THIS DRAWING. PROVIDE FULL LENGTH FULL ROPE. COORDINATE INSTALLATION WITH UTILITY COMPANY.

9. RUN TELCO CONDUIT OR CABLE BETWEEN TELEPHONE UTILITY DEMARCATION POINT AND PROJECT OWNER CELL SITE TELCO CABINET AND ITS CABINET AS INDICATED ON THIS DRAWING. PROVIDE FULL LENGTH FULL ROPE AND GREEN/BLUE CONDUIT MEASURING TAPE IN EACH INSTALLED TELCO CONDUIT.

10. WHERE CONDUIT BETWEEN BTS AND PROJECT OWNER CELL SITE PPC AND BETWEEN BTS AND PROJECT OWNER CELL SITE TELCO SERVICE CABINET ARE UNDERGROUND USE PVC, SCHEDULE 40 CONDUIT. ABOVE THE GROUND PORTION OF THESE CONDUITS SHALL BE PVC CONDUIT.

11. ALL EQUIPMENT LOCATED OUTSIDE SHALL HAVE NEMA 3R ENCLOSURE.

12. PPC SUPPLIED BY PROJECT OWNER.

13. GROUNDING SHALL COMPLY WITH NEC ART. 250.

14. GROUND COAXIAL CABLE SHIELDS MINIMUM AT BOTH ENDS USING MANUFACTURER'S COAX CABLE GROUNDING KITS SUPPLIED BY PROJECT OWNER.

ADDITIONAL NOTE:
GROUNDING, BONDING AND LIGHTNING PROTECTION SHALL BE DONE IN ACCORDANCE WITH T-MOBILE BTS SITE GROUNDING STANDARDS.

15. USE #6 COPPER STRANDED WIRE WITH GREEN COLOR INSULATION FOR ABOVE GRADE GROUNDING (UNLESS OTHERWISE SPECIFIED) AND #2 SOLID TINNED BARE COPPER WIRE FOR BELOW GRADE GROUNDING AS INDICATED ON THE DRAWING.

16. ALL GROUND CONNECTIONS TO BE BURNED HYDROGEN COMPRESSION TYPE CONNECTORS OR CABLEWELD EXOTHERMIC WELD. DO NOT ALLOW BARE COPPER WIRE TO BE IN CONTACT WITH GALVANIZED STEEL.

17. ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE, EXCEPT AS OTHERWISE INDICATED. GROUNDING LEADS SHOULD NEVER BE BENT AT RIGHT ANGLE. ALWAYS MAKE AT LEAST 12" RADIUS BENDS. #6 WIRE CAN BE BENT AT 6" RADIUS WHEN NECESSARY. BOND ANY METAL OBJECTS WITHIN 6 FEET OF PROJECT OWNER EQUIPMENT OR CABINET TO WITHIN GROUND BAR OR GROUNDING RING.

18. CONNECTIONS TO GROUND BARS SHALL BE MADE WITH TWO HOLE COMPRESSION TYPE COPPER LUGS. APPLY CODE INHERITING COMPOUND TO ALL LOCATIONS.

19. BOND ANTENNA MOUNTING BRACKETS, COAXIAL CABLE GROUND KITS, AND ALMA TO EGB PLACED NEAR THE ANTENNA LOCATION.

20. APPLY CODE INHERITING COMPOUND TO ALL COMPRESSION TYPE GROUND CONNECTIONS.

21. CONTRACTOR SHALL PROVIDE AND INSTALL OWN DIRECTIONAL ELECTRONIC MARKER SYSTEM (EAS) BILLS OVER EACH GROUND ROD AND BONDING POINT BETWEEN EXISTING TOWER/ MONOPOLE GROUNDING RING AND EQUIPMENT GROUNDING RING.

22. CONTRACTOR SHALL TEST COMPLETED GROUND SYSTEM AND RECORD RESULTS FOR PROJECT CLOSE-OUT DOCUMENTATION. 5 OHMS MAXIMUM RESISTANCE REQUIRED.

23. CONTRACTOR SHALL CONDUCT ANTENNA, COAX, AND LNA RETURN-LOSS AND DISTANCE-TO-FAULT MEASUREMENTS (SWEEP TESTS) AND RECORD RESULTS FOR PROJECT CLOSE OUT.



ABBREVIATIONS

AGL	ABOVE GRADE LEVEL	G.C.	GENERAL CONTRACTOR	RF	RADIO FREQUENCY
AWG	AMERICAN WIRE GAUGE	MGB	MASTER GROUND BUS		
BCW	BARE COPPER WIRE	MIN	MINIMUM	TBD	TO BE DETERMINED
BTS	BASE TRANSCIVER STATION	(P)	PROPOSED/NEW	TBR	TO BE REMOVED
(E)	EXISTING	N.T.S.	NOT TO SCALE	TBR	TO BE REMOVED
EG	EQUIPMENT GROUND	REF	REFERENCE		AND REPLACED
EOR	EQUIPMENT GROUND RING	REQ	REQUIRED	TYP	TYPICAL
(F)	FUTURE				

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SITE NUMBER: 4PQ0902A

SITE NAME: PQ902/TIME WARNER CARIBOU

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ARROSTOCK COUNTY

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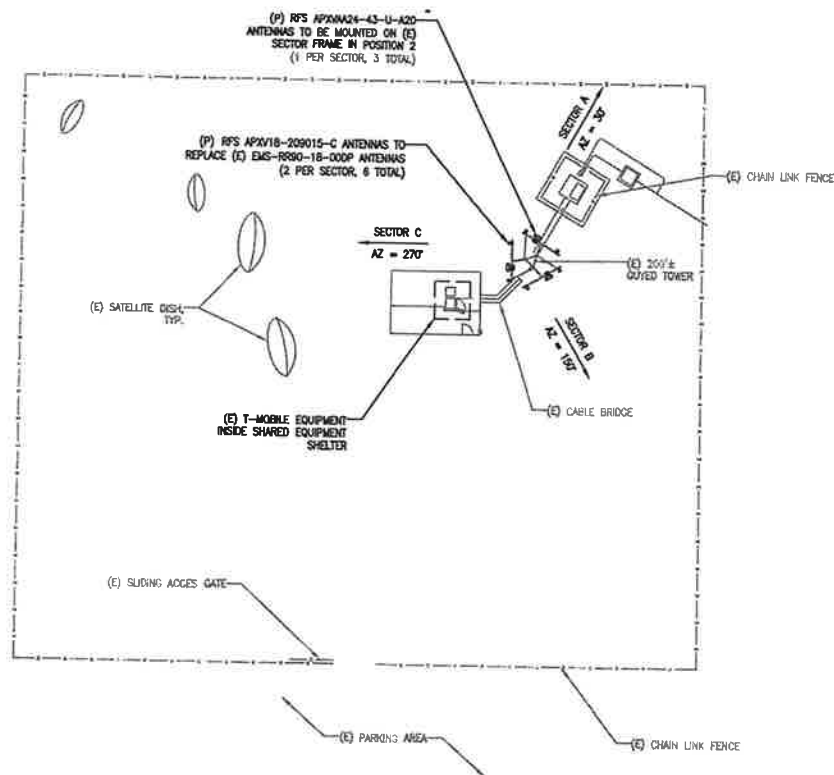
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GENERAL NOTES

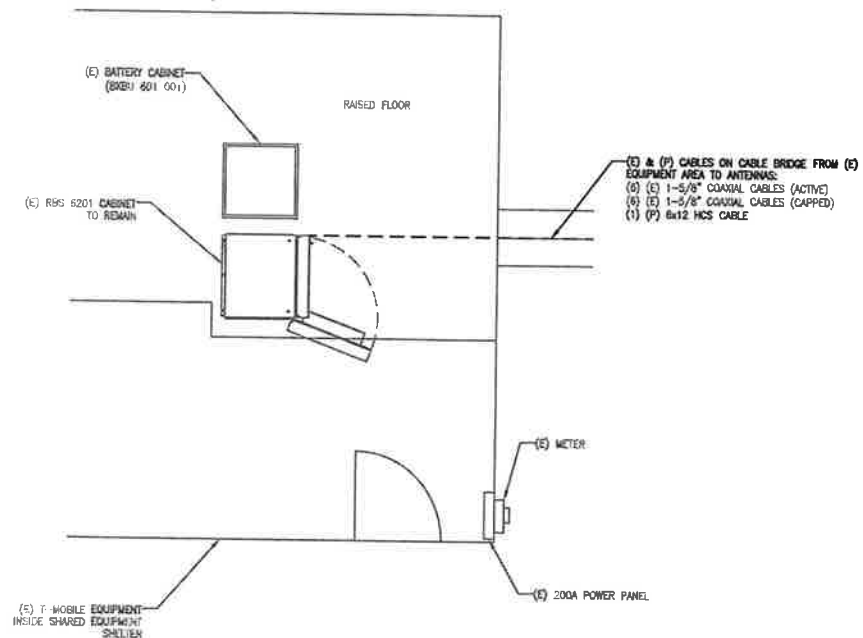
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GN-1

STRUCTURAL NOTE:
AN ANALYSIS FOR THE CAPACITY OF THE EXISTING STRUCTURE TO SUPPORT THE PROPOSED EQUIPMENT SHALL BE CONDUCTED PRIOR TO CONSTRUCTION (BY OTHERS). AEG HAS NOT CONDUCTED A STRUCTURAL ANALYSIS.



1 COMPOUND PLAN
SCALE: 1/32"=1'-0"



2 EQUIPMENT PLAN
SCALE: 1/4"=1'-0"



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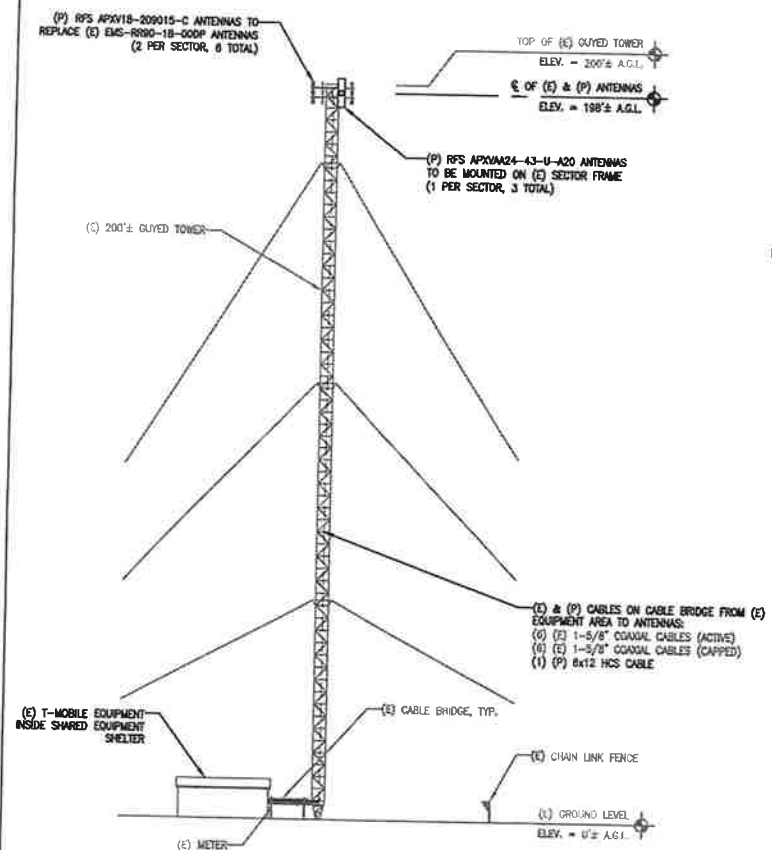
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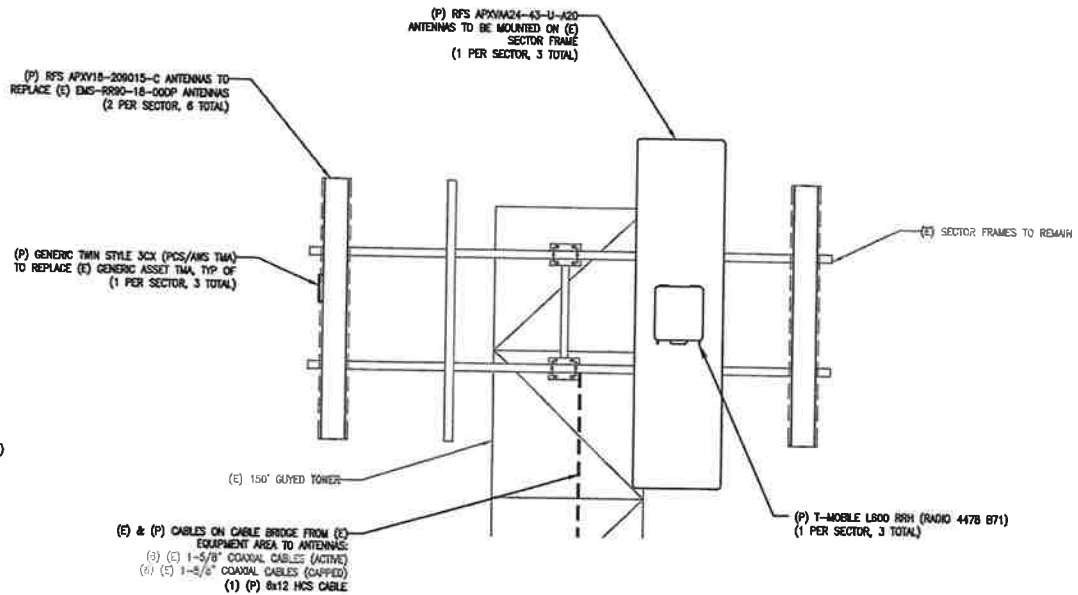
COMPOUND & EQUIPMENT PLANS

SHEET NO. **A-1**

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1 ELEVATION
A-2 SCALE: 1/32"=1'-0"



2 ENLARGED ANTENNA PLAN
A-2 SCALE: 3/8"=1'-0"



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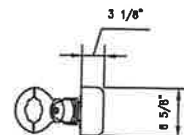
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ELEVATION

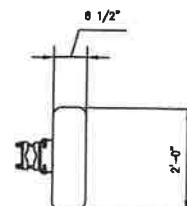
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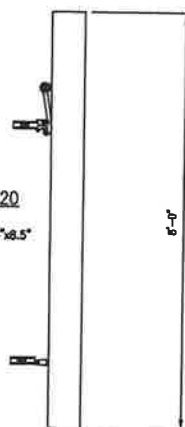


APXV18-209015-C-A20
MANUFACTURER: RFS
DIMENSIONS: (HxWxD) 72"x6.65"x3.15"
WEIGHT: 31.5 LBS.

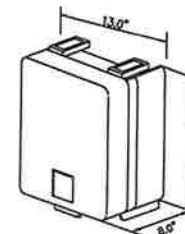
1 TYP. ANTENNA DETAIL
A-4 SCALE: N.T.S.



APXVAA24-43-U-A20
MANUFACTURER: RFS
DIMENSIONS: (HxWxD) 96"x24"x8.5"
WEIGHT: 101.4 LBS.
MNTG HARDWARE: 23 LBS.



2 TYP. ANTENNA DETAIL
A-4 SCALE: N.T.S.



RRUS-4478 B71
MANUFACTURER: ERICSSON
DIMENSIONS (H x W x D): 15.0" x 13.0" x 8.0"
WEIGHT: 60 LBS.

3 REMOTE RADIO HEAD (RRH) DETAILS
A-4 SCALE: N.T.S.



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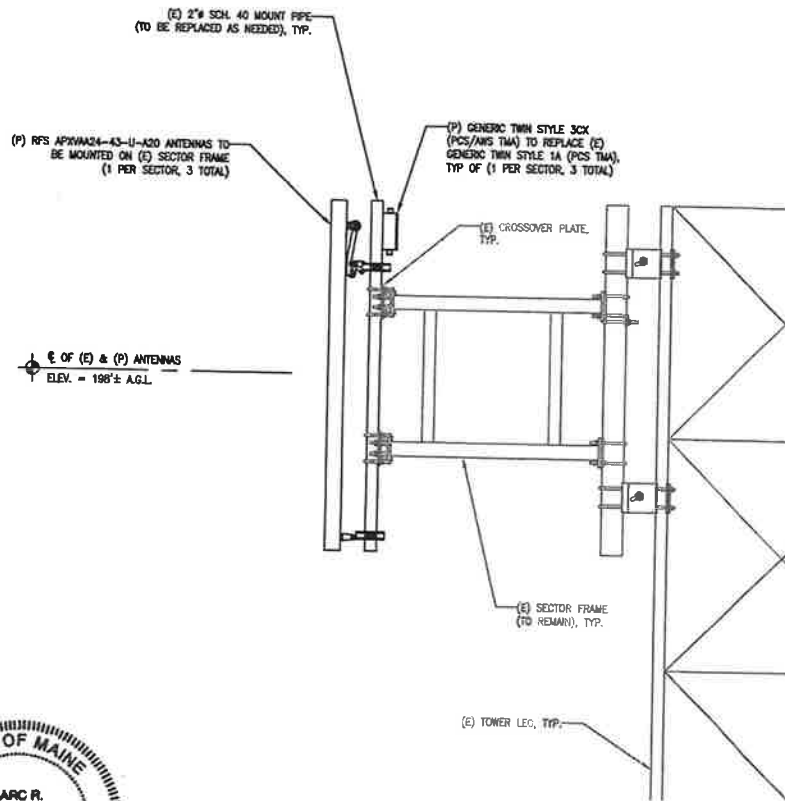
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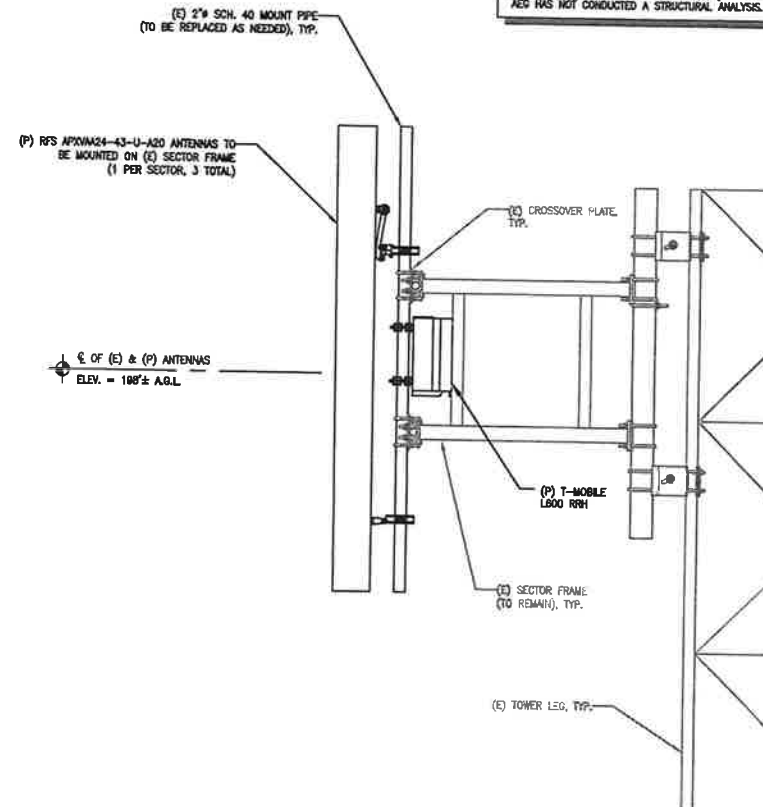
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DETAILS

SHEET NO. A-4



1 APXV18-209015-C ANTENNA MOUNT DETAIL
S-1 SCALE: 1/2" = 1'-0"



2 APXVAA24-43-U-A20 ANTENNA MOUNT DETAIL
S-1 SCALE: 1/2" = 1'-0"

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18 CHESTNUT STREET
FOXBOROUGH, MA 02035

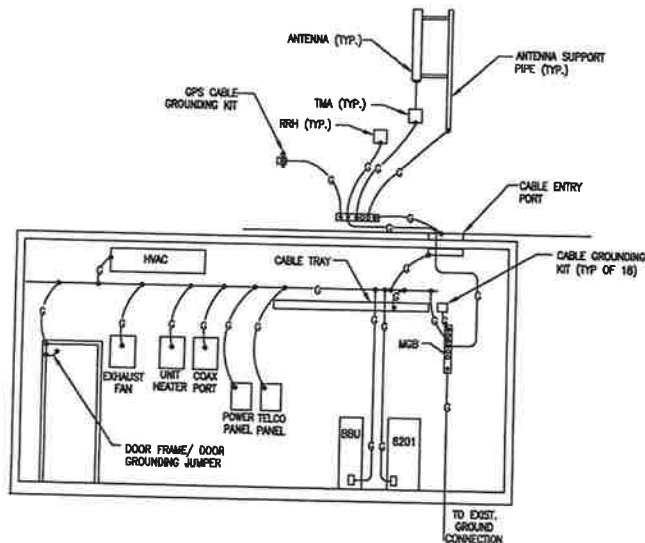
SITE NUMBER: 4PQ0902A
SITE NAME: PQ902/TIME WARNER CARIBOU
214 BAIRD ROAD
CARIBOU, ME 04738
AROOSTOCK COUNTY

T-MOBILE NORTHEAST LLC
15 COMMERCE WAY, SUITE B
NORTON, MA 02786
OFFICE: (508) 286-2700
FAX: (508) 286-2893

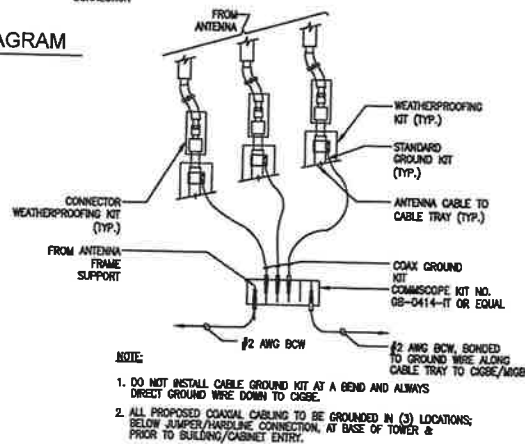
NO.	DATE	REVISIONS	BY	CHK
0	06/28/17	ISSUED FOR REVIEW	SHB	SHB

STRUCTURAL DETAILS

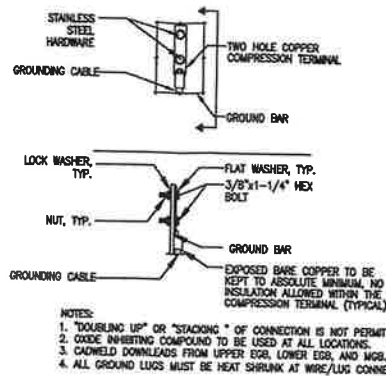
SHEET NO. S-1



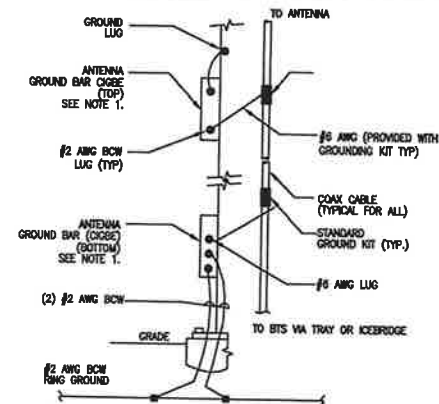
1 TYP. GROUNDING RISER DIAGRAM
G-1 SCALE:N.T.S.



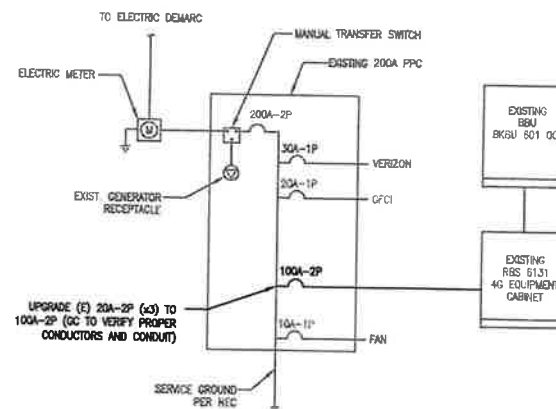
4 GROUND WIRE TO GROUND BAR CONNECTION DETAIL
G-1 SCALE:N.T.S.



2 TYP. GROUND BAR CONNECTION DETAIL
G-1 SCALE:N.T.S.



3 ANTENNA CABLE GROUNDING
G-1 SCALE:N.T.S.



5 ONE LINE POWER DIAGRAM
G-1 SCALE:N.T.S.

NOTE:
ALL WORK NEED TO BE PERFORMED BY
LICENSED ELECTRICIAN ADHERING TO THE
NEC AND LOCAL CODE REQUIREMENTS.



ADVANCED
ENGINEERING GROUP, P.C.
Civil Engineering - Site Development - Surveying - Construction Management
200 North Broadway
Andover, MA 01810
Tel: (978) 681-1111
Fax: (978) 681-1112

TRM
Convergent Network Solutions
TOWER RESOURCE MANAGEMENT
16 CHESTNUT STREET
FOXBOROUGH, MA 02035

SITE NUMBER: 4PQ0902A
SITE NAME: PQ902/TIME WARNER CARIBOU
214 BAIRD ROAD
CARIBOU, ME 04736
AROCSTOCK COUNTY

T-MOBILE NORTHEAST LLC
15 COMMERCE WAY, SUITE 8
NORTON, MA 02766
OFFICE: (508) 286-2700
FAX: (508) 286-2893

NO.	DATE	REVISIONS	BY	CHK
0	04/28/17	ISSUED FOR REVIEW	SMB	DMA

GROUNDING, ONE LINE
DIAGRAM & DETAILS

SHEET NO. G-1



BRSA
B.R. Smith Associates, Inc.

Surveying
Engineering
Building Design

May 2, 2018

Ken Murchison, Zoning Administrator
City of Caribou
25 High Street
Caribou, ME 04736

RE: Skyway Plaza, Lot 4
Bennett Drive/U.S. Route 1, Caribou, Maine
BRSA Project #2017.029

Ken:

Attached please find a set of plans for the proposed revised building layout on Lot 4 of the Skyway Plaza Subdivision.

On June 8, 2017, the Planning Board approved the Site Design Application for the layout of a proposed building, parking lot and driveway for future development of Lot 4. Our client, Caribou Management Company, LLC, has requested a change be made in the size of the approved building. The approved building is 85'x85' for a footprint of 7,225 sf. The revised building footprint is 65'x110' for a footprint of 7,150 sf. It is placed in the same northeast corner of the lot as the previous building. On the approved plan, 29 parking spaces are needed and 29 are proposed. The revision needs 28 spaces and 37 spaces are proposed. We have regraded the site and recalculated the stormwater discharge to be sure the stormwater devices are appropriately sized.

It is our understanding that you will present the revised plans and this letter to the Planning Board at their meeting this month so they can review it and acknowledge the change in the record.

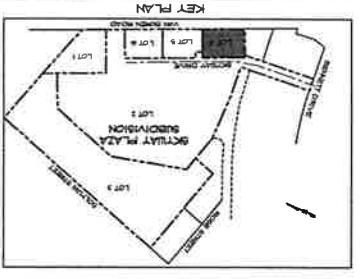
If you have any questions please feel free to contact us at 207-764-3661.

Sincerely,
B. R. Smith Associates, Inc.
Timothy R. Roix
By: Timothy R. Roix, PLS, PE
Partner of Firm

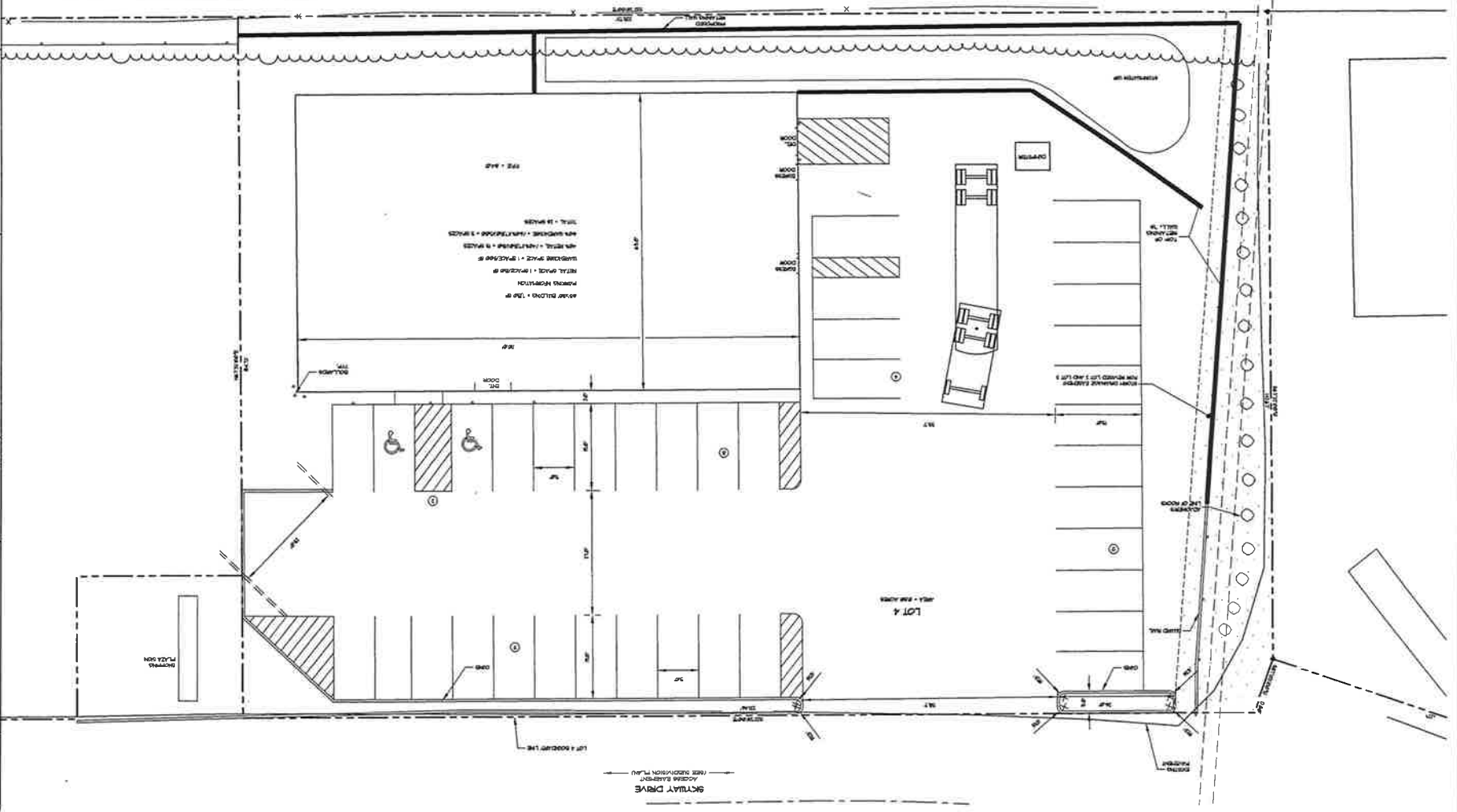
Enc.

Cc: Daniel Rosenberg

C1.02



- [illegible]

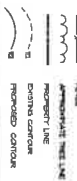


PROPOSED LAYOUT PLAN
PROPOSED DEVELOPMENT ON
LOT 4 SKYWAY PLAZA
8 SKYWAY DRIVE
CARIBOU, MAINE

ISSUED FOR MUNICIPAL REVIEW

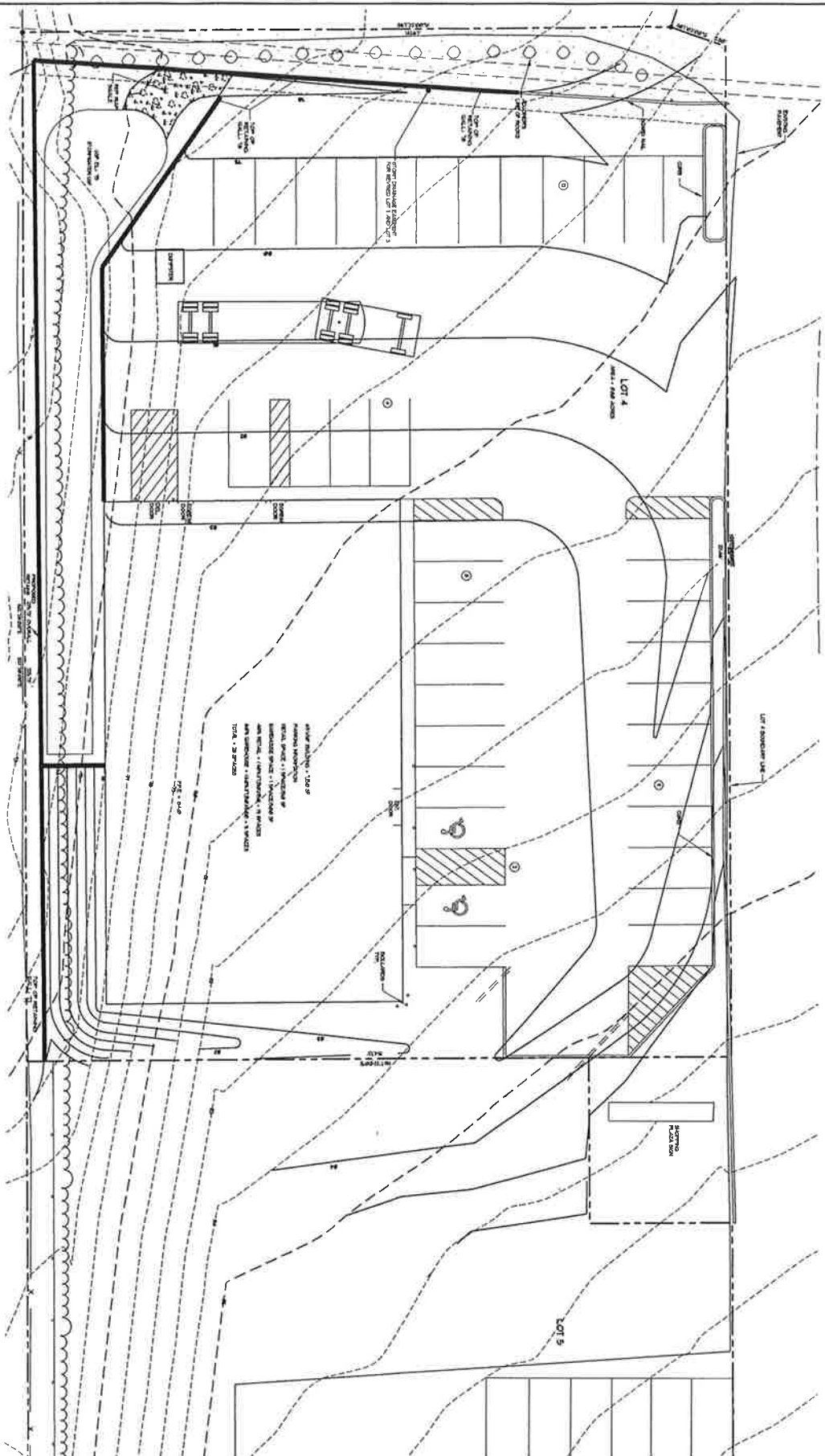


David H. H. H.
David H. H. H.
David H. H. H.



LEGEND

- NOT ON ACCOUNT:**
FIRST NAME
LAST NAME
BIRTH DATE
BIRTH PLACE
CITY STATE



~~TOTAL = 29 PLACES~~

C1.03

NO PORTION OF THIS PLAN MAY BE IN ANY WAY REFINANCED OR SECURED BY ANY MORTGAGE OTHER THAN THE SPECIFIC PROJECT SECURED HEREON UNLESS THE WRITTEN PERMISSION OF BNA SYSTEM ASSOCIATES, INC.

2470 BROADWAY, SUITE 200 NEW YORK, NY 10015			
2470 BROADWAY, SUITE 200 NEW YORK, NY 10015	2470 BROADWAY, SUITE 200 NEW YORK, NY 10015	2470 BROADWAY, SUITE 200 NEW YORK, NY 10015	2470 BROADWAY, SUITE 200 NEW YORK, NY 10015

	Not used
	F

PROPOSED GRADING PLAN

PROPOSED DEVELOPMENT OF
LOT 4 SKYWAY PLAZA
SKYWAY DRIVE
CARIBOU, MAINE

ISSUED FOR MUNICIPAL REVIEW			
6	total	REVISIONS	Grand Total
1	3-18	REMOVED BUILDING FOOTPRINT	1000



BRSA
B.R. Smith Associates, Inc.
Surveying Engineering
Building Design
11140 Sunset, Fresno, CA 93720
Tel: 207-761-3661 Fax: 207-761-3612

of "Genuine
30. June
F. Lombing

