



City of Caribou, Maine

AGENDA Caribou Planning Board Regular Meeting Thursday, December 13, 2018 at 5:30 p.m. City Council Chambers

*Municipal Building
25 High Street
Caribou, ME 04736
Telephone (207) 493-3324
Fax (207) 498-3954
www.cariboumaine.org*

- I. Call Meeting to Order
- II. Approval of minutes from the November 8, 2018 Planning Board meeting. Pgs. 2-5
- III. New Business
 - a. Final consideration of a Home Occupation Application for Jen Anderson DBA Reflections with Jen. Pgs. 6-19
 - b. Consider a Building permit for Stan Brescia at 2 Aldrich Drive. Pgs. 20-29
 - c. Continue review of a Site Design Review application for Dunkin Brands, Inc. Pgs. 30-46
 - d. Public Hearing regarding a Use Permit for Derrell Richardson at 9 Bog Road for a commercial application for sale of glassware. Pgs. 47-49
 - e. Consider a Use Permit for Derrell Richardson at 9 Bog Road for a commercial application for sale of glassware.
- IV. New Communications
 - a. Discussion on Site Design Review for Caribou Senior Living, LLC. Pgs. 50-75
 - b. Discussion on a Use permit for Derrell Richardson at 9 Bog Road concerning an owner operated personal services business related to a Medical Marijuana Caregiver status. Pgs. 76-79
- V. Staff Report
 - a. Updates from Code Enforcement Officer/Zoning Administrator.
- VI. Meet with the Caribou Airport Advisory Board for an update on airport activities and future planning.
- VII. Continue work on Chapter 13, Zoning of Caribou Code
- VIII. Other Business
- IX. Adjournment



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Caribou Planning Board Meeting Minutes Thursday, November 8, 2018 @ 5:30 pm City Council Chambers

Members Present: Robert White, Phil Cyr, Todd Pelletier, Evan Graves, Thomas Ayer and Philip McDonough III

Members Absent: Matthew Hunter

Others Present: Ken Murchison –CEO & Zoning Administrator, Dennis Marker –City Manager, Denise Lausier –Executive Assistant to the City Manager, Jen Anderson, Chris Washington, Rey Washington, John Whitten Jr., Ryan Lin and Ann Lin

- I. Call Meeting to Order** –The meeting was called to order at 5:30 pm.
- II. Approval of minutes from the October 11, 2018 Planning Board meeting** – Phil Cyr moved to accept the minutes as presented; seconded by Todd Pelletier. Motion carried with all in favor.
- III. New Business** –
 - a. Public Hearing for approval of a Home Occupation Permit Application for Jen Anderson DBA “Reflections with Jen” a therapeutic massage service at 99 Lynn Drive, Tax Map 36, Lot 111 in an R-1 Zone** – Public Hearing opened at 5:31 pm. Jen Anderson spoke on her application. Ms. Anderson has moved back to Caribou and has been working at Cindy Bouchard’s on High Street. She would like to move her business to where she is renting from her parents at 99 Lynn Drive. She will have around ten clients per week, hours will be 9:00 – 3:00, all parking will be off the street and clients will be only one at a time. She will have a small sign about the size of an election sign. She averages about ten clients a week and would only do a maximum of fifteen. Evan Graves had concerns for the residents in that area that if clients were running late, they may speed through the neighborhood. Ms. Anderson stated that there should be no cross over with clients, she allows for an hour in between clients. Tom Ayer questioned if she would hire in the future and Ms. Anderson stated that if she were to do that, she wouldn’t do that at this address, but on a main street in town.

Lehrle Kieffer from Remax stated that the property was purchased in August and there are deed restrictions & covenants that are well known. Ms. Kieffer feels the sale should have been contingent on the public hearing. The deed restrictions states it is solely for residential services. Ms. Kieffer feels that the city should be applying the deed restrictions and covenants that were accepted for subdivisions. She is concerned it opens pandoras box if this is approved, that it may open up to other businesses people bring into the area. Ms. Kieffer stated that the deed restrictions are why buyers are willing to pay higher prices for their homes. She recommends a mixed use or commercial area for this business to keep the residential only neighborhood.

Chris Washington purchased a home at the end of the street. She has concerns that currently there is not a lot of traffic, lots of children play in that circle, there are a lot of walkers and drivers ed testing in that area. She is also concerned with the value of the home. Ms. Washington feels it should be left as residential.

Jen Anderson replied that she wouldn't want to put any children in harms way. Her hours will reflect school hours 9:00 – 3:00 and she is also going to pursue foster care. Chris Washington was still concerned with summer time and walkers during the day.

Phil Cyr built 99 Lynn Drive and has consulted an attorney about a home occupation. Mr. Cyr stated that it is not the City's doings but is strictly a civil matter between land owners in the circle. The Planning Board's role is to act in accordance to Planning Board rules established. Mr. Cyr's wife operated a beautician shop in that home with little traffic. The home was built for that.

Philip McDonough III commented that the home occupation should be incidental to residential use, the way the statute and ordinances are written.

Robert White asked if there was a handicap ramp available. Jen Anderson stated that it is not required by the state unless she was working with handicapped people.

Public Hearing closed at 5:52 pm.

City Manager Dennis Marker stated that the City is not responsible for deed covenants unless the City was required to enforce. The City is only responsible for land use laws.

CEO Ken Murchison questioned Lehrle Kieffer if there is a homeowners association for the subdivision, Ms. Kieffer said there was not.

Lehrle Kieffer commented that she didn't feel Phil Cyr should be able to speak on this. Phil Cyr replied that he has no vested interest.

City Manager Dennis Marker stated that it needs to be in compliance with codes and will need to be inspected by the building official. The deed is civil.

Thomas Ayer stated that all the Planning Board can do is enforce the code.

Jen Anderson said that she moved from Pennsylvania with a new business with new techniques for higher upscale massage. She needs to move her business out of where she is currently at because the owner needs the space for her mom.

Phil Cyr moved to accept the application with condition of approval that all applicable codes are met; seconded by Todd Pelletier. 4 – yes (Phil Cyr, Phil McDonough III, Robert White, Todd Pelletier) 2 – No (Thomas Ayer, Evan Graves)

b. Public Hearing for approval of a Site Design Review Application for Dunkin Brands, Inc. DBA "Caribou Dunkin Donuts" a Dunkin Donuts Drive Thru Restaurant at 43 Bennett Drive, Tax Map 34, Lot 103 in an R-2 Zone – Public Hearing was opened at 6:06 pm.

Engineer John Whitten, Jr. gave a presentation on the project. This property is under a purchase and sale. It is under ½ acre in size and is across from the new school project. They will construct a 1900 square foot building that will house a coffee and pastry business. It will have twenty two seats inside with a walk up counter, a couple of self order kiosks and bathrooms. The entrance

will be from Bennett Drive, go around the back of the building with a pick up order on the right side of the building and exit back onto Bennett Drive. There will be twelve parking spaces with a second exit on Angle Street as an accessory exit for delivery trucks and customers. They are currently working on a traffic movement permit from MDOT and will have one curb cut for the property, they are meeting MDOT requirements with that. There will be four to five light poles and LED lighting on the building. Also there will be an enclosed dumpster on a concrete pad. The vinyl fence to buffer between the real estate office and Dunkin was left in place. Electrical connection is at the south east corner of the building, public water and the sewer line will have a new connection on Angle Street, will be able to angle feed three properties. For storm water, a catch basin will be at the southwest corner of the property and a connection for drainage.

CEO Ken Murchison referenced a list of comments that the Development Review Committee put together that was given to Mr. Whitten. Mr. Whitten addressed snow load removal, signage, parking spaces, buffering, landscaping, deliveries, floor plan, storm drainage and lighting.

Mr. Whitten stated that MDOT has a requirement for a six foot sidewalk on the east side of Bennet Drive to tie into the school project. No parking within ten feet of the property line. Also, adding a mobile pick up line, this is the second one in Maine, the other will be in Portland.

Philip McDonough III had concerns with traffic flow and parking during peak hours.

Robert White questioned the Angle Street exit. Mr. Whitten stated that Angle Street will be an accessory exit for trailer trucks and customers. The delivery trucks are smaller trucks and they deliver every other day, early morning.

City Manager Dennis Marker stated that MDOT needs to look at the traffic movements. The entrance to the real estate office is so close, MDOT may want to combine the egress and ingress. May be a benefit to have only one contact point instead of two.

Phil McDonough III expressed that he would like to table this item until work with MDOT is complete. Mr. McDonough stated that a lot hinges on what the State allows us to do.

Public Hearing closed at 6:50 pm. Evan Graves moved to approve the site design application for Dunkin Brands, Inc. contingent upon conditions of MDOT review and approval and staff approval of list of concerns; seconded by Phil Cyr. 5 – Yes, 1 – No (Philip McDonough III) Motion carries.

IV. New Communications –

- a. **Consider a Building Permit Application from Stan Brescia for the placement of a mobile home at 62 Aldrich Drive, Tax Map 11, Lot 4-W, in an I-2 Zone** – CEO Ken Murchison stated that residential is not allowed in industrial although there is one exception in the code that makes provision for this to happen, but it is not in the land use table so he brought it to the Board. The structure is already there, it's a double wide trailer for his nephew. According to the permit, he is part of the business. It is adjacent to a warehouse. Phil McDonough III stated that there should be repercussions for things done that should have received prior approval. After discussion, CEO Ken Murchison stated that they can deal with this one and create a moratorium.

Phil Cyr moved to advise the CEO to approve this and work on language to assign a penalty for those who do this after the fact and to do a moratorium for six months for any permits for people who apply after the fact; seconded by Thomas Ayer. 3 – Yes (Phil Cyr, Thomas Ayer, Robert White) 3 – No (Todd Pelletier, Evan Graves, Philip McDonough III).

After discussion, Thomas Ayer moved to retract the previous motion; seconded by Phil Cyr. Motion carried with all in favor.

Philip McDonough III moved for CEO Ken Murchison to take this item to legal and address accordingly; seconded by Thomas Ayer. Motion carried with all in favor.

- b. Meet with the Caribou Airport Advisory Committee for an update on airport activities and future planning** – This item was rescheduled for the December meeting.

V. Staff Report.

- a. Updates from Code Enforcement Officer/Zoning Administrator** - CEO Ken Murchison gave a quick overview of activities in the office. Code violations, lot line disputes, set back issues, exterior lighting issue and effluent at Birdseye.
- b. Discussion of Housing Codes** – None.

VI. Planning Board Training – None.

VII. Continue work on Chapter 13, Zoning of Caribou Code – None.

- a. Progress and Timing**

VIII. Other Business – None.

IX. Adjournment – Meeting adjourned at 7:30 pm.

Respectfully Submitted,

Philip McDonough III
Planning Board Secretary

PM/dl



City of Caribou Home Occupation Application

Planning & Code Enforcement
25 High St.
Caribou, Maine 04736
(207) 493-3324 X 3
pthompson@cariboumaine.org

Note to Applicant: Complete this application and return it with the required documents. In addition, the required fee must be returned along with this completed application. Make checks payable to: "City of Caribou", in the amount of \$90.00.

Please print or type all information

Name of Applicant: Jen Anderson
Business Name: Reflections with Jen
Location of Property (Street Locations): 99 Lynn Drive
City of Caribou Tax Map: 36 Lot: 111 Zone: R-1

Applicant Information

Person and address to which all correspondence regarding this application should be sent to:

Jen Anderson Phone: 717-333-5307
99 Lynn Drive
Caribou, ME 04736 E-mail: jenyette@gmail.com

Name of Land Surveyor, Engineer, Architect or other Design Professionals.
(Attach list if needed, please write "N/A" if not applicable)

Scott Appraisal Phone: 207-455-8251

Phone: _____

What legal interest does the applicant have in property to be developed (ownership, owner's representative, option, purchase & sales contract, etc?)

(Attach supportive legal documentation)

Please describe business, including services offered and estimated impacts on traffic, noise, and environmental impacts

I will be providing professional therapeutic massage therapy services. I offer sports massage, Swedish, Deep Tissue, Prenatal, and Hot Stone massage. There would be minimal impact for noise, traffic and with the environment. I plan to schedule an average of 10 clients a week at this home address.

General Information

Aroostook County Registry of Deeds: Book # Volume 5249 Page # 243

Southern Aroostook Registry of Deeds 35
What interest does the applicant have in any abutting property? n/a

Is any portion of the property within 250 feet of the normal high water line of a lake, pond, river, or wetland or within 75 feet of any stream? () Yes (x) No

Is any portion of the property within a Flood Hazard Zone? () Yes (x) No

Total sq ft of residence: 3,824 Total sq ft of residence to be developed: n/a

Has this land been part of a subdivision in the past five years? () Yes (x) No

Indicate any restrictive covenants currently in the deed: Plan Book 35 pg 2, volume 74/ pg 134

Registry of Deeds Book of Plans 35, pg 2
(Attach deed)

n/a Anticipated start date for construction: ___/___/___ Anticipated Completion: ___/___/___

Water Supply: Private Well: (x) Public Water Supply: ()

Sewerage Disposal: Private SSWD: () Public Sewer: (x)

Estimated sewerage disposal gallons per day: () / day

Does the building require plan review by the State Fire Marshal Office? () Yes () No
(Attach Barrier Free and Construction Permits from SFMO)

Have the plans been reviewed & approved by the Caribou Fire Chief? () Yes () No

Does the building have an automatic sprinkler system? () Yes () No

Does the building have an automatic fire detection system? () Yes () No

Plan Review Criteria Checklist

- 1. A copy of the deed to the property, option to purchase the property, or other documentation to demonstrate right, title, or interest in the property on the part of the applicant.
- 2. Names and addresses of all abutting landowners (from assessing office).
- 3. Copy of tax card and tax map for property with zoning designation (from assessing office)
- 4. 1 complete set of plans, showing the following:
 - a. Graphic scale and north arrow.
 - b. Location and dimensions of any existing or proposed easements (from deed)
 - c. Size, shape, and location of existing and proposed buildings on the site including dimensions of the buildings and setbacks from property lines.
 - d. Access for Emergency Vehicles, location and layout design of vehicular parking, circulation areas, loading areas, and walkways including curb cuts, driveways, parking space and vehicle turn around areas.
 - e. Location and names of streets adjacent to the proposed development and rights-of-way (from deed).
 - f. Conceptual treatment of landscaping buffers, screens, and plantings.
 - g. Location of outdoor storage areas, fences, signage and accessory structures.
 - h. All proposed signage and exterior lighting including the location, size and wording of all signs and location and type of exterior lights.

To the best of my knowledge, all of the information submitted in this application is true and correct.

Signature of Applicant: Jan Anderson Date: Oct. 9 2018

Planning Board Requirements Checklist

- The home occupation shall only employee residents of the dwelling unit.
- The home occupation shall be carried on entirely within the principle or accessory structure.
- The home occupation shall not occupy more than 50% of the total floor area of the principle dwelling structure. Accessory structures used for the home occupation may use up to 100%.
- No client or customer shall be allowed on any floor other than the first floor ground level unless the structure is protected throughout with a State Fire Marshal approved sprinkler system.
- Objectionable noise, vibrations, smoke, dust, electrical disturbance, odors, heat, glare or other nuisances are not permitted.
- No on-street parking is allowed for clients or customers.
- All means of egress/ingress are consistent with NFPA Life Safety Code 101 and the Americans with Disabilities Act.

Home Occupation Application for: Jean Anderson

Address: 99 Lynn Drive

Approved by the Caribou Planning Board

Date: 11/08/2018

Signed:

Chairman, Caribou Planning Board

Conditions of Approval:

WARRANTY DEED

EDDIE SLEEM and NADIA K. RAJACK-SLEEM, of Caribou, in the County of Aroostook and State of Maine, whose mailing address is 99 Lynn Drive, Caribou, Maine 04736, for consideration paid, grant to **SCOTT ANDERSON and SUSAN ANDERSON**, both of Caribou, in the County of Aroostook and State of Maine, whose mailing address is 29 Pilgrim Road, Caribou, Maine 04736, with **WARRANTY COVENANTS**, as **JOINT TENANTS**, the land in Caribou, Aroostook County, Maine, as follows:

PARCEL ONE

A certain piece or parcel of land being a part of Lot numbered Three (3) in that part of Caribou formerly "I" Township, and being more particularly described as follows, to wit:

Lot Numbered One Hundred Eleven (111) according to the subdivision plan and survey prepared for P.L. Willey Company by Lee A. Doody, Jr. dated September 16, 1980, and recorded at the Southern Aroostook Registry of Deeds in Plan Book 35, Page 2.

In accepting this deed, the Grantees covenant and agree for themselves, their heirs and assigns, that no old buildings shall be moved on said land; that no buildings shall be erected on said land except a dwelling house and private garage; that said dwelling house shall dispose of its sewage in the municipal sewer system, or into a properly constructed and maintained septic tank; that said land shall be used solely for residential purposes; that no buildings shall be erected within thirty (30) feet of any street line; that no building shall be left unfinished or unpainted for an unreasonable length of time unless the exterior finish and siding on said building are materials that do not require painting to give a finished or completed appearance to the buildings; that no building shall be used by more than two families; that no dwelling house shall be erected on said land unless its value, exclusive of the land exceeds \$50,000.00; that no livestock or poultry shall be kept on said land; and the Grantees further agree for themselves, their heirs and assigns, that this covenant shall run with the land for the benefit of owners of the other lots in said Subdivision and any owner of property in said Subdivision may enforce this covenant.

Said premises are conveyed subject to an easement to Maine Public Service Company and New England Telephone and Telegraph Company by Quitclaim Deed of Freeland E. Smith dated December 2, 1957, and recorded in said Registry of Deeds in Volume 741, Page 134.

PARCEL TWO

A one-fifth (1/5) interest in common to a certain piece or parcel of land being a part of Lot No. 3 in that part of Caribou, Maine, formerly "I" Township and being more particularly described as follows, to wit:

The circle within the limits of the public way as shown on Subdivision Plan and Survey prepared for P.L. Willey Co., by Lee A. Doody, Jr., dated September 16, 1980, and recorded in the Southern District of the Aroostook Registry of Deeds in Book of Plans 35, Page 2.

Said premises are subject to any easements granted to Maine Public Service Company and the New England Telephone and Telegraph Company.

Being the same premises conveyed to **ROBERT KRUL and TAMMY KRUL** by Warranty Deed, Joint Tenancy of **JOANNE LABBE, f/k/a Joanne Willett** dated March 21, 2005 and recorded at the Southern Aroostook Registry of Deeds in Volume 4114, Page 209.

Being the same premises conveyed to **EDDIE SLEEM and NADIA K. RAJACK-SLEEM** by Warranty Deed, Joint Tenancy, of **ROBERT KRUL and TAMMY KRUL** dated October 4, 2013, and recorded at the Southern Aroostook Registry of Deeds in Vol. 5249, Page 243.

WITNESS our hands this 22nd day of June, 2018.

Eddie Sleem
Eddie Sleem

Nadia K. Rajack-Sleem
Nadia K. Rajack-Sleem

STATE OF MAINE
AROOSTOOK, SS.

June 22, 2018

Personally appeared the above-named EDDIE SLEEM and NADIA K. RAJACK-SLEEM and acknowledged the foregoing instrument by them signed to be their free act and deed.

Before me,

Diana J. Quillette
Notary Public (Seal)

Diana J. Quillette
Notary Public, State of Maine
My Commission Expires
April 3, 2019

Printed Name // Commission Expires

PIONEER REALTY, LLC

P.O. BOX 70

Caribou, ME 04736

CITY OF CARIBOU

25 HIGH STREET

Caribou, ME 04736

David J. and Mary Kate Barbosa

78 LYNN DRIVE

Caribou, ME 04736

Ryan R. and Ann Y. Lin

82 LYNN DRIVE

Caribou, ME 04736

Justin and Lea Powers

107 LYNN DRIVE

Caribou, ME 04736

Adam G. and Jennifer I.

19 MAYO STREET

Caribou, ME 04736

Joseph M. Jr. and Doris H. Sleeper

25 MAYO STREET

Caribou, ME 04736

Douglas Hise
794 MAIN STREET
Caribou, ME 04736

Seth and Karlyn Williams
P.O. BOX 314
Caribou, ME 04736

Brian P. and Haley A. Powers
93 SOLAR DRIVE
Caribou, ME 04736

Michael J. and Nadeen M. Plourde
103 LYNN DRIVE
Caribou, ME 04736

Julie M. and Andrew A. Bouchard
92 SOLAR DRIVE
Caribou, ME 04736

Nadeen M. Plourde
103 LYNN DRIVE
Caribou, ME 04736

OUELLETTE ENTERPRISES, LLC
P O BOX 577
Caribou, ME 04736

Martin J. and Mary Ellen Gallant

P.O. BOX 1476

Caribou, ME 04736

Pierre and Sherri A. Dumont

85 LYNN DRIVE

Caribou, ME 04736

Rey M. and Christiane B. Washington

95 LYNN DRIVE

Caribou, ME 04736

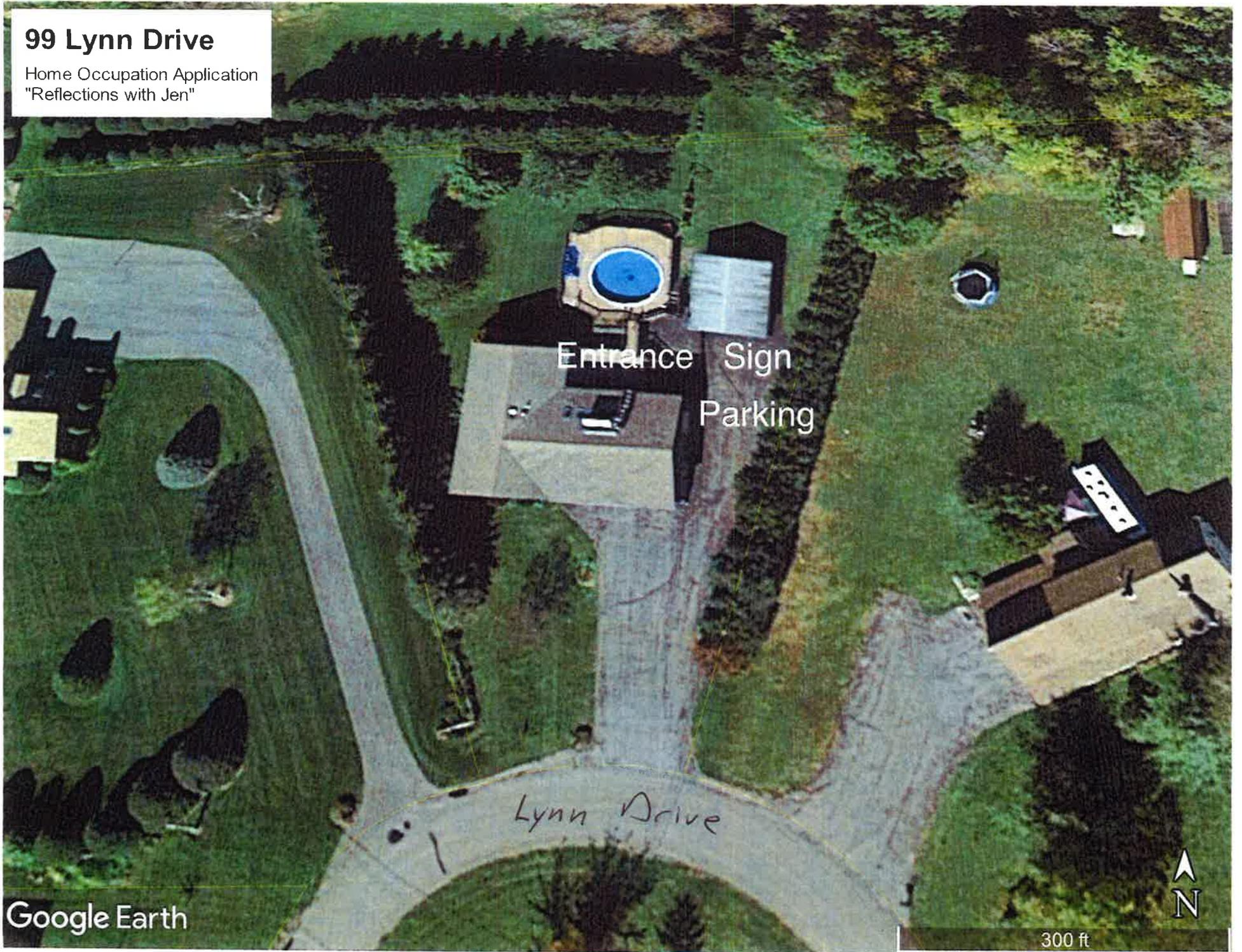
Eddie Sleem and Nadia K. Rajak-Sleem

99 LYNN DRIVE

Caribou, ME 04736

99 Lynn Drive

Home Occupation Application
"Reflections with Jen"



Google Earth

Lynn Drive

Entrance Sign
Parking



300 ft



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CITY OF CARIBOU PLANNING BOARD

NOTICE OF DECISION, PUBLIC HEARING

11/28/2018

Jen Anderson
99 Lynn Drive
Caribou, ME 04736

Dear Ms. Anderson

This is to inform you that the Caribou Planning Board has approved your Home Occupation Application for your personal, professional therapeutic massage and therapy services business "Reflections with Jen".

A. Findings of Fact

1. Name of Applicant: Jen Anderson.
2. Mailing Address: 99 Lynn Drive
3. City: Caribou
4. Telephone: (717) 333-5307
5. Name of Property Owner (if different from applicant): Reflections with Jen
6. Location of property for which request is requested: 99 Lynn Drive
7. Zoning district in which property is located: R-1
8. Tax map and lot number of subject property: Map 36, Lot 111
9. The applicant has demonstrated a legal interest in the subject property by submitting a Home Occupation Application
10. The applicant has proposed the following building, structure, use or activity on the subject property: personal, professional therapeutic massage and therapy services business "Reflections with Jen".

13. The conditions and character of the neighborhood are: residential

14. November 8, 2018, the Planning Board conducted a public hearing on the application for to deliberate on this application and to prepare Findings of Fact and Conclusion of Law.

15. Additional Facts (other facts relevant to ordinance criteria): A Home Occupation Permit is appropriate for any Residential or Commercial District in the city, however there does exist a deed covenant related to the housing subdivision where the 99 Lynn Drive Property is located. This property has had a prior Home Occupation Application that was approved for a business that operated at that address.

B Conclusions of Law

Based upon the facts stated above and for the reasons that follow, the Board concludes that: Per the Caribou City Code, page 792 Section 13-303, Site Design Review Criteria.

C. Decision

On the basis of the above Findings of Fact and Conclusion of Law, the Planning Board voted by vote of 4 to 3 to Home Occupation Application for your personal, professional therapeutic massage and therapy services business “Reflections with Jen” at Map 36, Lot 111 with the condition that the application be completed. Since the time of the Public Hearing, November 8, 2018, the application has been completed with the addition of a map of the property with north arrow, location of business entrance and location of signage.

D. Appeals

Parties aggrieved by this decision may appeal it to the Caribou Zoning Board of Appeals within 45 days from the date of decision pursuant to 30-A.M.R.S.A. § § 2691 and 4353 and Maine Rules of Civil Procedure, Rule 80B.

Respectfully,

Philip McDonough III
Planning Board Secretary
City of Caribou

City of Caribou
----- Receipt -----

*** ALPRINT ***

\$0.00/18 11:17 AM TD:JKF	#19207-1
YES-----	RF-----
BUILDING PERMITS	BUILDING P
FEES FOR LOCAL	55.00
Total: 50.00	
Paid By: STAN BRESCIA	
Remaining Balance: 0.00	
Check #	50.00
1692 -	50.00

Code Enforcement - Inspections

Permit Fee Payments at front counter - first floor.

Date: 10/18/2018

Customer Name: Stan Baesida

13 - Building Permit:	Flat \$50 fee	\$ <u>50.00</u>
14 - Plumbing permit:	75% Caribou	_____
	25% State	_____
Shellfish Surcharge: \$15.00 (full system – external only)		_____
53 – Zoning Document fee:		_____
54 – Site Design Application: \$90 + \$10 / 2000 sq ft		_____
55 – Board of Appeals Application:		_____
56 – Certificate of Occupancy: \$25.00		_____
57 – Demolition Permit: \$25.00 – waived if received in advance		_____
58 – Sign Permit:	\$50.00 per sign X _____ =	_____
59 – Subdivision Application: \$180 (first three) + \$10/each add'l		_____
61 – Heating Equip. Installation Permit: \$20.00 each X _____ =		_____
62 – Misc. Inspection Service: \$40.00 each X _____ =		_____
TOTAL:		\$ <u>50.00</u>

Plumbing Inspections: Please call Steve Wentworth, LPI 551-1007

Building Inspections: Please call Tony 493-5966

Planning Board agenda items: Please call Ken 493-5967

CITY OF CARIBOU

BUILDING PERMIT APPLICATION

207-493-3324 ext. 3

DATE APPLICATION RECEIVED: _____
 No permits will be issued prior to 3 working days from receipt of application.

PROPERTY OWNER

Property Owner: STAN BRESCIA
 Property Address: 62 Aldrich DR
 Mailing Address: P.O. Box 575
 Ph: 496-2171 Cell: 551-9461

CONTRACTOR(S)

General Contractor: N/A
 Ph: _____ Cell: _____
 Excavating Contractor: _____
 Ph: _____ Cell: _____
 Foundation Contractor: _____
 Ph: _____ Cell: _____

PROJECT DESCRIPTION

TRAILER to be used for housing of SECURITY WATCHMAN AND JANITOR SERVICES

All Public Buildings require State Fire Marshal's Approval.
 Please ask for a SFMO Permit Application.

ESTIMATED COST OF PROJECT

\$ 2,500.00

OFFICE USE ONLY

Permit Number: _____
 Issue Date: _____
 Fee: \$ _____
 Approved By: _____

Map # _____ Lot # _____
 Zone: _____
 Setbacks:
 Front _____ Rear _____ Sides _____
 Special Zones:
 Shoreland
 Flood Zone
 Wetland
 Wellhead Protection District

BUILDING INFORMATION

Number of Stories:
 _____ Present
 _____ Proposed
 _____ Total

Height of Buildings:
 _____ Present
 _____ Proposed
 _____ Total

Number of Bathrooms:

	FULL	HALF
Present	_____	_____
Proposed	_____	_____
Total	_____	_____

Number of Bedrooms:
 _____ Present
 _____ Proposed
 _____ Total

Present Septic System is approved for _____ Bedrooms

Type of Use (Check one)
 Year Round
 Seasonal

SIGNATURE & POLICY PAGE

ADDITIONAL REQUIREMENTS FOR NEW CONSTRUCTION ON AN UNDEVELOPED SITE

1. Property location, street address, map and lot number from City Assessor
2. Curb Cut / Culvert Permit from Public Works or MDOT
3. Sub Surface Waste Water Design, HHE-200 (if applicable)
4. Copy of Deed, Lease, or Purchase & Sale Agreement (for undeveloped lot)

Please read and initial each item below, sign, and date the application

SB I understand that building permits do not include plumbing, septic, or electrical work.

SB I understand that building permits are valid for one year.

SB I agree to comply with all applicable Building Codes, Energy Conservation Codes, Fire Codes & the 2009 Life Safety Code.

SB I understand that my building(s) cannot be within the set back from my property line.

SB I agree to schedule all inspections and get written permission before backfilling the foundation.

SB I agree to schedule an inspection of the Radon Control System prior to placement of the basement slab.

SB I will not close in the walls until the framing, insulation, vapor barrier, electrical, and plumbing has been inspected.

SB I authorize inspections necessary to insure compliance with regulations.

SB I understand that a Certificate of Occupancy is required prior to occupying the building.

SB I certify that all information given in this application is accurate and complete.

Stanley Bruscia
Applicant Signature

10-17-18
Date

BUILDING PERMIT FEES

Effective 1/1/2017: \$50

All building permits – now a flat \$50 permit fee

It is our policy to review and process applications as quickly as possible to ensure code compliance for your safety as well as the safety of others. Fees will be collected when your permit is issued. We accept cash or checks made payable to the City of Caribou.

ADDITIONAL PERMITS, APPROVALS, AND INSPECTIONS REQUIRED

<input type="checkbox"/> Plumbing Permit	<input type="checkbox"/> Swimming Pool Permit	<input type="checkbox"/> Fire Marshall's Office
<input type="checkbox"/> Electrical Permit	<input type="checkbox"/> Sign Permit	<input type="checkbox"/> MDOT
<input type="checkbox"/> Septic/HHE200 Permit	<input type="checkbox"/> Culvert (Public Works)	<input type="checkbox"/> DEP
<input type="checkbox"/> Septic Variance	<input type="checkbox"/> Curb Cut (Public Works)	<input type="checkbox"/> EPA
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Road Opening (Public Works)	<input type="checkbox"/> ARMY Corp of Engineers
<input type="checkbox"/> Board of Appeals	<input type="checkbox"/> Shoreland	<input type="checkbox"/> Wetland

OFFICE USE ONLY

This application is

APPROVED

The following conditions are prescribed:

DENIED

Reason for denial:

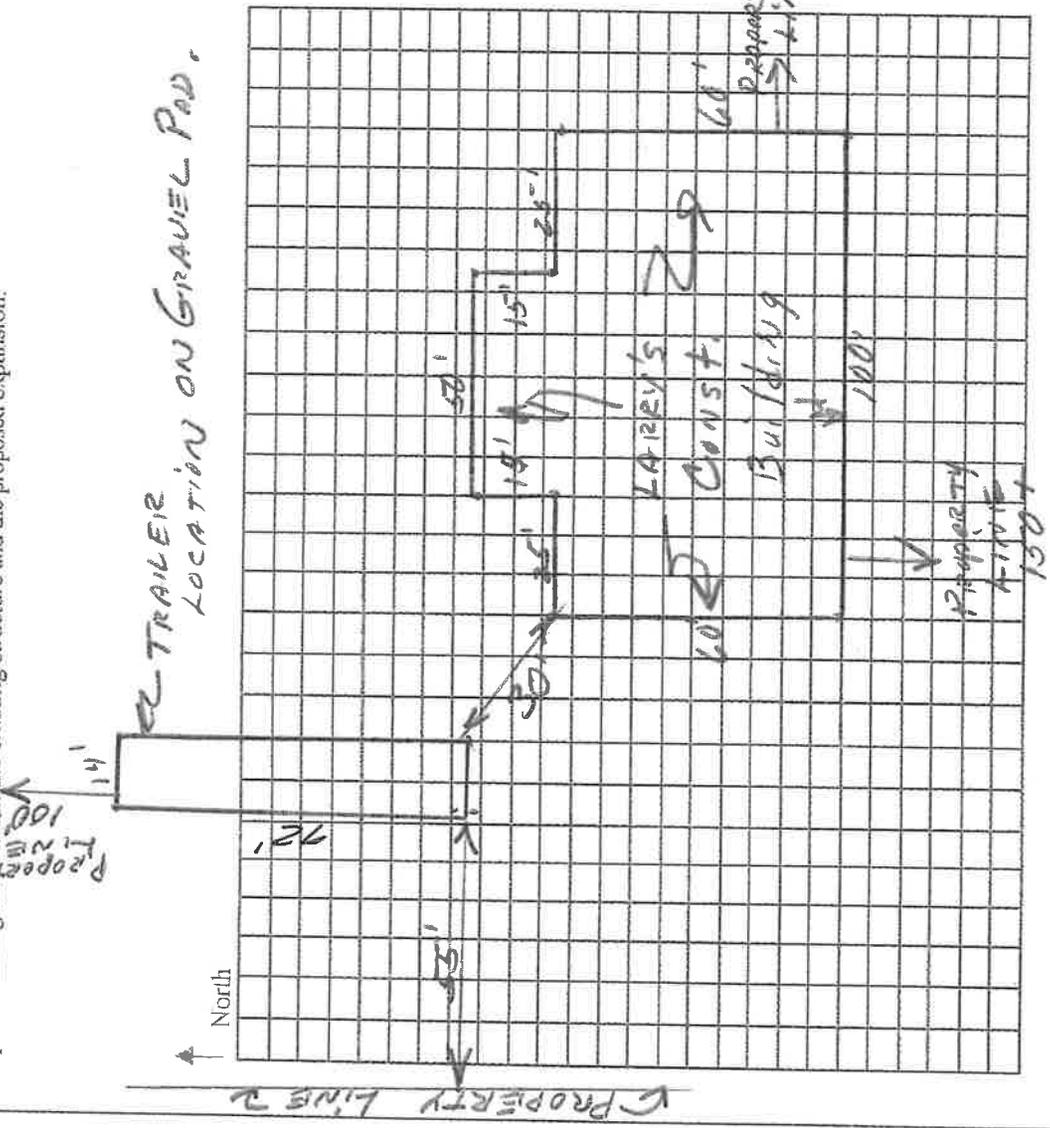
Building Official

Date

SCHEDULE OF INSPECTIONS

INSPECTION	DATE	INSPECTOR	INSPECTION NOTES
<input type="checkbox"/> Footings	_____	_____	_____
<input type="checkbox"/> Foundation	_____	_____	_____
<input type="checkbox"/> Radon	_____	_____	_____
<input type="checkbox"/> Framing	_____	_____	_____
<input type="checkbox"/> Insulation	_____	_____	_____
<input type="checkbox"/> Plumbing	_____	_____	_____
<input type="checkbox"/> Electrical	_____	_____	_____
<input type="checkbox"/> Septic	_____	_____	_____
<input type="checkbox"/> Final Occupancy	_____	_____	_____
<input type="checkbox"/> _____	_____	_____	_____
<input type="checkbox"/> _____	_____	_____	_____

PLEASE INCLUDE: Lot lines, area to be cleared of trees and other vegetation; the exact position of proposed structures, including decks, porches, and outbuildings with accurate setback distances from the shoreline, side and rear property lines; the location of proposed wells, septic systems; and driveways; and areas and amounts to be filled or graded. If the proposal is for the expansion of an existing structure, please distinguish between the existing structure and the proposed expansion.



Scale: 1" = 40' FL → Aldrich Drive ←

Chapter 13 Section 700 General Requirements
#25 Residences Excluded From Industrial Districts

1. It shall not be used for future building lots; and
 2. Which portions of the usable open space, if any, may be dedicated for acceptance by the City.
- D. The Final Plan application shall include the following:
1. Covenants for mandatory membership in the lot owners association setting forth the owners' rights, interests, and privileges in the association and the common property and facilities, to be included in the deed for each lot or dwelling.
 2. Draft articles of incorporation of the proposed owners association as a non-profit corporation; and
 3. Draft by-laws of the proposed lot owners association specifying the responsibilities and authority of the association, the operating procedures of the association and providing for proper capitalization of the association to cover the costs of major repairs, maintenance and replacement of common facilities.
- E. In combination, the documents referenced in paragraph D above shall provide for the following:
1. The homeowners association shall have the responsibility of maintaining the common property or facilities.
 2. The association shall levy annual charges against all owners of lots or dwelling units to defray the expenses connected with the maintenance, repair and replacement of common property and facilities and tax assessments.
 3. The association shall have the power to place a lien on the property of members who fail pay dues or assessments.
 4. The developer or applicant shall maintain control of the common property, and be responsible for its maintenance until development sufficient to support the association has taken place. Such determination shall be made by the Planning Board upon request of the lot owners association, applicant, or developer.

25. Residences Excluded from Industrial Districts.

Residential uses are specifically excluded from Industrial Districts except for watchman, caretaker, or janitor, or other such use clearly incidental to a lawful industrial use.

26. Satellite Receiving Dish.

No satellite receiving dish, greater than 40" in diameter, shall be located within 100 feet of the right-of-way of a public road.

27. Sewage Disposal.

A. Public Sewage Disposal

1. Any development within 1000 feet of a public sewage disposal system, at its nearest point, shall make provisions for connection to the public system. When public sewage disposal service shall not be available at the time of construction, a "capped system" may be installed within the development, at the discretion of the Planning Board and after consultation with the Caribou Utilities District (CUD), to allow future connection when service becomes available without excavation within the right-of-way of any road within the development.
2. When a development is proposed to be served by the public sewage system, the complete collection system within the development, including manholes and pump stations, shall be installed at the expense of the applicant.
3. The CUD shall certify that providing public sewage service to the proposed development is within the capacity of the system's existing collection and treatment system or improvements planned to be complete prior to the construction of the development.
4. The CUD shall review and approve the construction drawings for the public sewage system. The size and location of laterals, collectors, manholes, and pump stations shall be reviewed and approved in writing by the District.
5. The public sewage disposal system(s) and related equipment for the development shall be designed by a Maine Registered Professional Engineer in full compliance with the requirements of the State of Maine, *Subsurface Wastewater Disposal Rules* and shall be approved by the CEO or Planning Board and the Health Office.

B. Private Sewage Disposal.

Ken Murchison

From: rsolman@solmanhunter.com
Sent: Monday, November 26, 2018 2:41 PM
To: Ken Murchison
Subject: Residential Applic - Industrial Zone

Ken-

I looked at this over the weekend. If the proposed residential use is, in fact, incidental to a lawful industrial use – such as a caretaker, I believe the use is authorized under §25. It is my opinion that this is an exception to the general rule. A temporary non-conforming structure or use could also be authorized under the land use table.

Rick
Richard D. Solman
Solman & Hunter, P.A.
P.O. Box 665
Caribou, ME 04736
Tel: 207-496-3031
Fax: 207-498-2258
rsolman@solmanhunter.com

This message is intended for the use of the addressee only and may contain information that is privileged and confidential. If you are not the intended recipient of this message, be notified that any dissemination or use of this message is strictly prohibited. If you have received this message in error, please delete all copies of the message and its attachments and notify the sender immediately. Thank you.

RICHARD D. SOLMAN
SCOTT G. HUNTER
DAN P. UMPHREY

LAW OFFICES
SOLMAN & HUNTER, P.A.
709 MAIN STREET
P.O. BOX 665
CARIBOU, MAINE 04736

DAVID SOLMAN (1932-1965)
RICHARD N. SOLMAN (1955-2007)
ROBERT H. PAGE (1970-1987)

rsolman@solmanhunter.com
shunter@solmanhunter.com
dan_umphrey@solmanhunter.com

Telephone 207- 496-3031
Facsimile 207- 498-2258

November 27, 2018

City of Caribou
25 High Street
Caribou, ME 04736

Attn: Ken Murchison

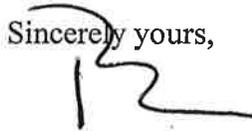
Re: Residential Application-Residential Zone

Dear Ken:

Enclosed you will find my invoice for services rendered with regard to the above referenced matter.

Thank you,

Sincerely yours,



RICHARD D. SOLMAN

RDS/lmb

Enclosure

Law Offices
SOLMAN & HUNTER, P.A.
 709 Main Street
 P.O. Box 665
 Caribou, Maine 04736

Telephone
 (207) 496-3031
 FAX (207) 498-2258
 Employer ID #01-0371223

November 27, 2018

City of Caribou
 25 High Street
 Caribou, ME 04736

Re: Residential Application-Residential Zone
 Our File No. 18-368GN

To: Professional services rendered

DATE	DESCRIPTION	TIME	COSTS
11/26/18	Review of Code and Building Permit Application; emails		
	TOTAL TIME/EXPENSES:		\$0.00
	HOURLY RATE/CHARGE	\$200.00	\$120.00
	TOTAL AMOUNT OF INVOICE:		\$120.00

10-01-005-04

VISA-MASTERCARD - DISCOVER ACCEPTED

TERMS: ALL BILLS DUE UPON RECEIPT OF INVOICE. INTEREST OF 1% PER MONTH (12% PER ANNUM) WILL BE CHARGED ON ALL ACCOUNTS NOT PAID WITHIN THIRTY (30) DAYS

#10-01-005-04 legal fees
 Kenneth Murchland Jr.
 12/04/2018



Plymouth Engineering, Inc.

P.O. Box 46 – 30 Lower Detroit Road
Plymouth, Maine 04969
info@plymouthengineering.com
Tel: (207) 257-2071 fax: (207) 257-2130

October 11, 2018

Mr. Ken Murchison, CEO
City of Caribou
25 High Street
Caribou, ME 04736

Preliminary Site Design Review Application: Dunkin' Donuts Restaurant, 43 Bennett Drive, Caribou, Maine

General Description:

On behalf of the applicant, Dunkin' Brands, Inc., we are pleased to submit this Preliminary Site Design Review Application for the proposed construction of a 1,875 square foot Dunkin' Donuts Drive-Thru Restaurant at 43 Bennett Drive in Caribou, Maine. The property is currently undeveloped and previously supported a single- family residential use. The property is approximately 0.47 Acres in size and is located adjacent to the Irving gas station and across the street from the large, new school project.

The proposed development includes a new restaurant building that will service both walk-in and drive-thru customers. There are 18 total parking spaces proposed on the site and a drive-thru lane that supports a queue of 15 cars on the site. A bypass lane is also proposed so vehicles not involved with the drive-thru service can maneuver in and out of the site without waiting in a queue.

The applicant is proposing a single entrance and exit on Bennett Drive and a secondary access point to Angle Street. This secondary access point is mostly to ensure that a delivery truck can exit the site without needing to encircle the building. Due to the traffic numbers associated with a Dunkin Donuts business, the applicant is applying to the Maine Department of Transportation for a Traffic Movement Permit (TMP). It is expected that an extension of a center turn lane on Bennett Drive will be required of the applicant as a condition of the TMP. Additionally, the construction of a sidewalk along the property's frontage on Bennett Drive is expected to be required. This sidewalk section will integrate with the proposed sidewalks for the new school project.

The project will be serviced by underground power lines, public water (within Bennett) and public sewer. The sewer connection is proposed to be a new connection to an existing manhole within Angle Street, as requested by the Caribou Utilities District. This is needed because there is an existing sewer main that traverses the project site, about half way between Angle and Bennett. The sewer main reportedly services the two northerly neighbors, the project site and the Irving gas station. The Utilities District would like this main removed or discontinued and new services established to Angle Street for the three most northerly properties. The applicant will work with the northerly neighbors to construct new services for their properties.

Please find attached, preliminary plans showing the site layout, site features, utility connections, architectural elevations and sign and lighting locations. The applicant is proposing to use their modern architectural design package for this building. Comments on the attached architectural elevations are welcome, as the architect would like to move forward with construction drawings for the building itself, if the Planning Board is satisfied with the initial design.

The site design is based on vehicle queuing and maneuvering within the property boundaries. The building is located in the center to promote thru-traffic patterns on either side. Pavement is set back five feet from any property line and the building and dumpster enclosure are outside of the ten-foot building setback, per the C-2 Zoning standards. Landscaping will be included along portions of the

property that are not paved and fencing may be installed to buffer the site from neighboring uses. These details will be finalized prior to the Final Site Design submittal. We expect to finalize plans and reports fairly quickly and hope to be back in front of the Board in November. Construction will most likely start in the Spring of 2019, but the land closing would potentially occur before the end of 2018, depending on approvals.

We appreciate the Board reviewing this initial application at their next meeting and sharing their thoughts and comments. We look forward to working with you and the Board through this exciting project. Please feel free to contact us with any questions in the meantime.

Respectfully,
PLYMOUTH ENGINEERING, INC.

A handwritten signature in black ink, appearing to read "Jon H. Whitten, Jr.", written in a cursive style.

Jon H. Whitten, Jr., P.E.
Senior Project Manager



City of Caribou Site Design Review Application

Planning & Code Enforcement
25 High St.
Caribou, Maine 04736
(207) 493 – 3324 X 214
kmurchison@cariboumaine.org

Note to Applicant: Complete this application and return it with the required documents. In addition, the required fee must be returned along with this completed application. Make checks payable to: "City of Caribou", in the amount of \$90.00 plus \$10.00 per 2000 square feet of total gross floor area for commercial, industrial or other non residential applications.

Please print or type all information

Name of Property Owner / Developer: Dunkin Brands, Inc. (applicant)

Development Name: Dunkin Donuts Drive-Thru restaurant

Location of Property (Street Locations): 43 Bennett Drive

City of Caribou Tax Map: 34 Lot: 103 Zone: C-2

Site Design Review Application – City of Caribou, Maine

Site Design approval will not be considered complete until the Planning Board has determined it has all of the necessary information to review the proposal and render a decision. You are advised to meet with the Code Enforcement Officer prior to completing the application as it may not be necessary to comply with all of the items shown on the form. The review of your application shall consist of at least (2) two presentations to the Planning Board and possibly additional presentations until all required information has been provided. A "Performance Bond" may be required prior to approval of this project.

Applicant Information

Please provide a brief description of this project.

New, 1,875 sq. ft. Dunkin Donuts Restaurant with 16 parking spaces and drive-thru lane.

Person and address to which all correspondence regarding this application should be sent to:

Jon Whitten, PE
Plymouth Engineering, Inc.
PO Box 46
Plymouth, ME 04967

Phone: (207) 257-2071

E-mail: jon.whitten@plymouthengineering.com

If applicant is a corporation, check if licensed in Maine Yes No
(Attach copy of Secretary of State Registration)

Name of Land Surveyor, Engineer, Architect or other Design Professionals. (attach list if needed)

Engineer: Plymouth Engineering, Inc.

Phone: (207) 257-2071

Surveyor: BRSA

Phone: (207) 764-3661

What legal interest does the applicant have in property to be developed (ownership, owners representative, option, purchase & sales contract, etc?)

(Attach supportive legal documentation)

General Information

Aroostook County Registry Deeds: Book # _____ Page # _____ (attach copy of deed)

What interest does the applicant have in any abutting property? None

Is any portion of the property within 250 feet of the normal high water line of a lake, pond, river, or wetland or within 75 feet of any stream? Yes No

Is any portion of the property within a Flood Hazard Zone? Yes No

Total area or acreage of parcel: 0.69 AC +/- Total area or acreage to be developed: 0.69 AC +/-

Has this land been part of subdivision in the past five years? Yes No

Identify existing use(s) of land (farmland, woodlot, residential, etc.) Residential/Undeveloped

Indicate any restrictive covenants to be placed in the deed -- (Please attach list)

Does the applicant propose to dedicate any recreation area, or common lands? Yes No

Recreation area(s) Estimated Area & Description: None

Common land(s) Estimated Area & Description: None

Anticipated start date for construction: month / year 04 / 19 Completion: 06 / 19

Does any portion of the proposal cross or abut an adjoining municipal line? Yes No

Does this development require extension of public services? Yes No

Roads: _____ Storm Drainage: _____ Sidewalks: _____ Sewer Lines: _____ Other: _____

Estimated cost for infrastructure improvements: \$Not known at this time.

Water Supply: Private Well: Public Water Supply:

Sewerage Disposal: Private SSWD: Public Sewer:

Estimated sewerage disposal gallons per day: (256 / day)

Does the building require plan review by the State Fire Marshal Office? Yes No
(Attach Barrier free and Construction Permits from SFMO)

Have the plans been reviewed & approved by the Caribou Fire Chief? Yes No

Does the building have an automatic sprinkler system? Yes No

Does the building have an automatic fire detection system? Yes No

Will the development require a hydrant or dry hydrant fire pond? Yes No

Concept Plan Review Criterion

The Planning Board shall review applications first as a Concept Plan. Concept Plan Review is intended to insure the proposed plan is in conformance with the Caribou Comprehensive Plan and all City Ordinances. The completed application and concept plans shall be delivered to the Code Enforcement Office no less than 21 days prior to the first day of the next month. The Chairman of the Planning Board shall determine the schedule and agenda of the next meeting when the application and plans will receive Concept Plan Review. At a minimum, Concept Plan applications shall include the following:

1. x Name and address of the owner of record and applicant (if different).
2. x Name of the proposed development and location.
3. x Names and addresses of all property owners within 500 feet of the property.

- 4. x A copy of the deed to the property, option to purchase the property, or other documentation to demonstrate right, title, or interest in the property on the part of the applicant.
- 5. x Names and addresses of all consultants working on the project.
- 6. x 1 complete set of plans, 24" X 36" & 10 complete sets of plans, 11" X 17"
Plans to be included:
Boundary Survey
Storm Water Management
Erosion and Sediment Control
Finish Grading Plan
Site Improvement Detail
Building Elevations and Structural Plans

7. **Plans to show the following elements for review:**

- x a. Graphic scale and north arrow.
- NA b. Location and dimensions of any existing or proposed easements and copies of existing covenants or deed restrictions.
- x c. Name, registration number, and seal of the land surveyor, architect, engineer, and/or similar professional who prepared the Plan.
- x d. All property boundaries, land area, and zoning designations of the site, regardless of whether all or part is being developed at this time.
- x e. Size, shape, and location of existing and proposed buildings on the site including dimensions of the buildings and setbacks from property lines.
- x f. Access for Emergency Vehicles, location and layout design of vehicular parking, circulation areas, loading areas, and walkways including curb cuts, driveways, parking space and vehicle turn around areas.
- x g. Location and names of streets and rights-of-way within 200' and adjacent to the proposed development.
- x h. Proposed finish grades and graphic arrows indicating the direction of storm water runoff.
- x i. Conceptual treatment of on and off site storm water management facilities.
- x j. Location and sizes of existing and proposed sewer and water services including connections.
- x k. Conceptual treatment of landscaping buffers, screens, and plantings.
- x l. Location of outdoor storage areas, fences, signage and accessory structures.
- x m. Context map illustrating the area surrounding the site which will be affected by the proposal including all streets, sidewalks, intersections, storm water drainage ways, sanitary sewer lines and pump stations, nearby properties and buildings, zoning Districts, and geographic features such as, but not limited to, wetlands, natural features, historic sites, flood plains, significant scenic areas, and significant wildlife habitats as provided in the Comprehensive Plan.

- X n. All proposed signage and exterior lighting including the location, size and wording of all signs, type of exterior lights, radius of light, manufacturer's specifications sheet, and the ground level intensity in foot-candles of all exterior lights.

Final Site Design Plan Requirements

Following approval of the Concept Plan Review, the Planning Board may by majority vote schedule the Site Design Application for Final Plan Review. Final Plan Review must be at least 30 days following Concept Plan Approval. If additional information is required by the Planning Board following the Concept Plan Review, a complete set of revised plans shall be provided for final review and approval. If additional information or a change of information is required, the revised plans shall be delivered to the Code Enforcement Office at least 21 days prior to the next scheduled meeting.

Final Site Design Plan Review shall require three (3) 24" X 36" sets of plans for Board Signatures.

If the Planning Board determines that third party review will be necessary to make a sound decision, the applicant will be responsible for any fees incurred for the third party review.

During the Final Site Design Review the Chairman or designee shall determine that all of the elements of review 7-a., through 7-n. above have been addressed. The chair may then call for a motion.

If the Final Plan is approved by the Planning Board, no work may commence for a period of 30 days following the date of approval.

Final Site Design Plans shall provide an area designated for all seven Planning Board members signatures.

Applicant Signature:

To the best of my knowledge, all of the information submitted in this application is true and correct.

Signature of Applicant: _____ Date: _____

Final Site Design Review Criteria by Planning Board

Date: _____	<u>Yes</u>	<u>No</u>	<u>N/A</u>
A. Conformance with Comprehensive Plan	_____	_____	_____
B. Traffic	_____	_____	_____
C. Site Access	_____	_____	_____

	<u>Yes</u>	<u>No</u>	<u>N/A</u>
D. Parking & Vehicle Circulation	_____	_____	_____
E. Pedestrian Circulation	_____	_____	_____
F. Site Conditions	_____	_____	_____
G. Open Space	_____	_____	_____
H. Sanitary Sewage	_____	_____	_____
I. Water	_____	_____	_____
J. Emergency Vehicle Access	_____	_____	_____
K. Waste Disposal	_____	_____	_____
L. Buffering	_____	_____	_____
M. Natural Areas	_____	_____	_____
N. Exterior Lighting	_____	_____	_____
O. Stormwater Management	_____	_____	_____
P. Erosion & Sediment Control	_____	_____	_____
Q. Buildings	_____	_____	_____
R. Existing Landscaping	_____	_____	_____
S. Infrastructure	_____	_____	_____
T. Advertising Features	_____	_____	_____
U. Design Relationship to Site & Surrounding Properties	_____	_____	_____
V. Scenic Vistas & Areas	_____	_____	_____
W. Utilities	_____	_____	_____
X. Mineral Exploration	_____	_____	_____
Y. General Requirements (Pg. 859)	_____	_____	_____

Z. Phosphorus Export

**City of Caribou, Maine
Planning Board**

Site Design Review for: _____

Address: _____

On _____ (date) the members of the Caribou Planning Board met to consider the application for Site Design Review on the property referenced above.

The application was: **Denied / Approved / Approved with conditions**

Approved by the Caribou Planning Board

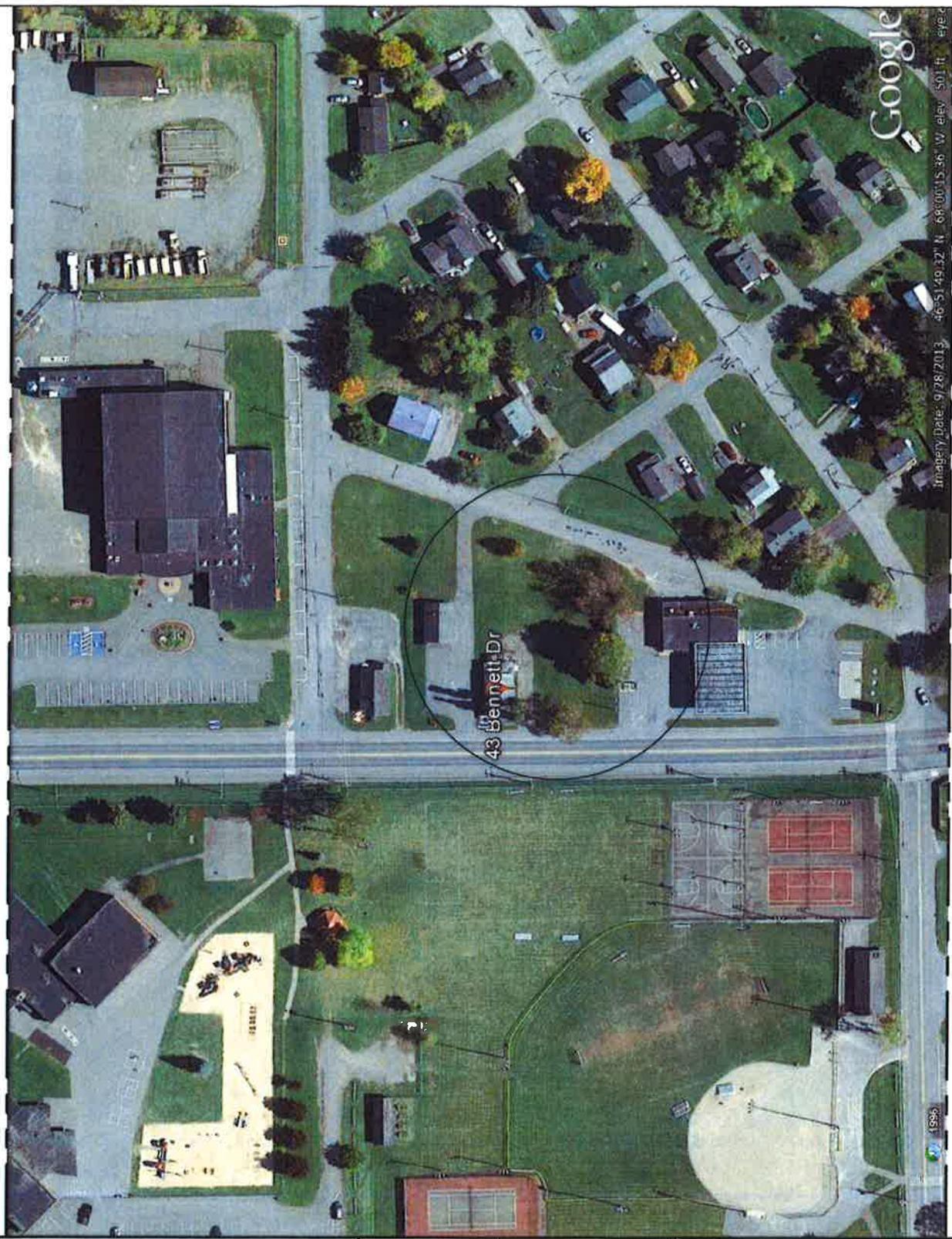
Signed: _____ Chairman of the Planning Board

Date: ____ / ____ / ____

Conditions of Approval:

Google

Imagery Date: 9/28/2013 46°51'49.52" N 69°00'15.36" W elev: 501 ft



Plymouth Engineering, Inc.

P.O. Box 46 Detroit Road
 Plymouth, Maine 04969
 Fax: (207) 867-8190 Tel: (207) 867-2071
 engineering@midmaine.com

DESIGNED: JES	PROJECT NO. 18141
DRAWN: JES	DRAWING NO. DWG#
CHECKED: JHW	FIELDBOOK: N/A
APPROVED: JHW	SCALE:
PLAN DATE: 6/29/18	DATE ISSUED: 6/29/18
CLIENT: DUNKIN' BRANDS, INC. 130 ROYAL ST. CANTON, MA 02021	

PROJECT NAME:	CARIBOU DUNKIN DONUTS	
NEWPORT	MAINE	
SHEET NAME:	AERIAL PHOTO	SHEET: C1

CARIBOU UTILITIES DISTRICT

Hugh A Kirkpatrick
General Manager
Sue Sands
Office Manager
Russell Plourde
Operator Water
Paul Rossignol
Operator Wastewater

WATER & WASTEWATER
PO Box 879 ~ 176 Limestone Street
Caribou ME 04736
(207) 496-0911 ~ (207) 496-0921 fax

TRUSTEES
Nancy Solman
President
Janine Murchison PE
Treasurer
Scott Willey
David Belyea PE
W. Louis Greenier

July 17, 2018

Jon H Whitten Jr PE
Plymouth Engineering
30 Lower Detroit Road
PO Box 46
Plymouth, Maine 04969

Re: Water and sewer service to lot on 43 Bennett Drive (map 34, lot 103) in Caribou, Maine

As requested below is a not to exceed estimate for water to the above referenced lot. You are free to get quotations from contractors if you wish. The estimate for water service is to the property line at the street front. You are responsible for the additional piping from the new curb shut-off valve onto your property to the dwelling. CUD specifications for water lines must be followed when installed by contractors and is subject plan review, approval or inspection during construction. You will need visit the office to fill out applications for services at this location, submit plans for review and pay the estimated amount. This project may qualify for an additional water meter, at additional cost(s), to net out sewer charges ongoing for water served to customers.

Estimate for Services

43 Bennett Drive, Map 34, Lot 103, Dunkin Donuts

Item	Qty	Unit	Price	Sub Tot	Note
New service, water	1	each	\$ 20.00	\$ 20.00	Permit / Application
New service, sewer	1	each	\$ 100.00	\$ 100.00	Permit / Application
3/4" curb stop	1	each	\$ 69.00	\$ 69.00	
3/4" corporation	1	each	\$ 40.00	\$ 40.00	
Curb box and rod	1	each	\$ 15.00	\$ 15.00	
3/4 inch Type K copper pipe	30	LF	\$ 4.15	\$ 124.50	
Bituminous pavement	0.75	ton	\$ 160.00	\$ 120.00	
Labor (2 operators * 6hrs * 1 days)	12	hours	\$ 33.00	\$ 396.00	
Loader-Backhoe, Wheel, FEMA 8570	6	hours	\$ 16.00	\$ 96.00	
Truck, Dump, FEMA 8720	6	hours	\$ 42.25	\$ 253.50	
Misc., Fittings, Shop Supplies, Etc.	5	%		\$ 60.00	
CUD contribution, sewer service	0	each	\$ 2,000.00	\$ -	saddle w / permit(s)
Total				\$ 1,294.00	

Sewer mains exists adjacent to this property on Angle and onto Veronica Streets. The District does not install sewer services but does provide a saddle to intercept the main. There is a \$100.00 charge to connect to the District's sewer system, but it is the owner's responsibility to contract for installation of the sewer service lateral at their cost. Several area contractors are available to do this work. CUD specifications for sewer lines must be followed when installed by contractors and is subject plan review, approval and inspection during construction. You will need visit the office to fill out applications for services at this location and submit plans of the sanitary system for review.

If you have any questions, please do not hesitate to contact me.

Sincerely,

Hugh A. Kirkpatrick

Hugh A. Kirkpatrick, General Manager

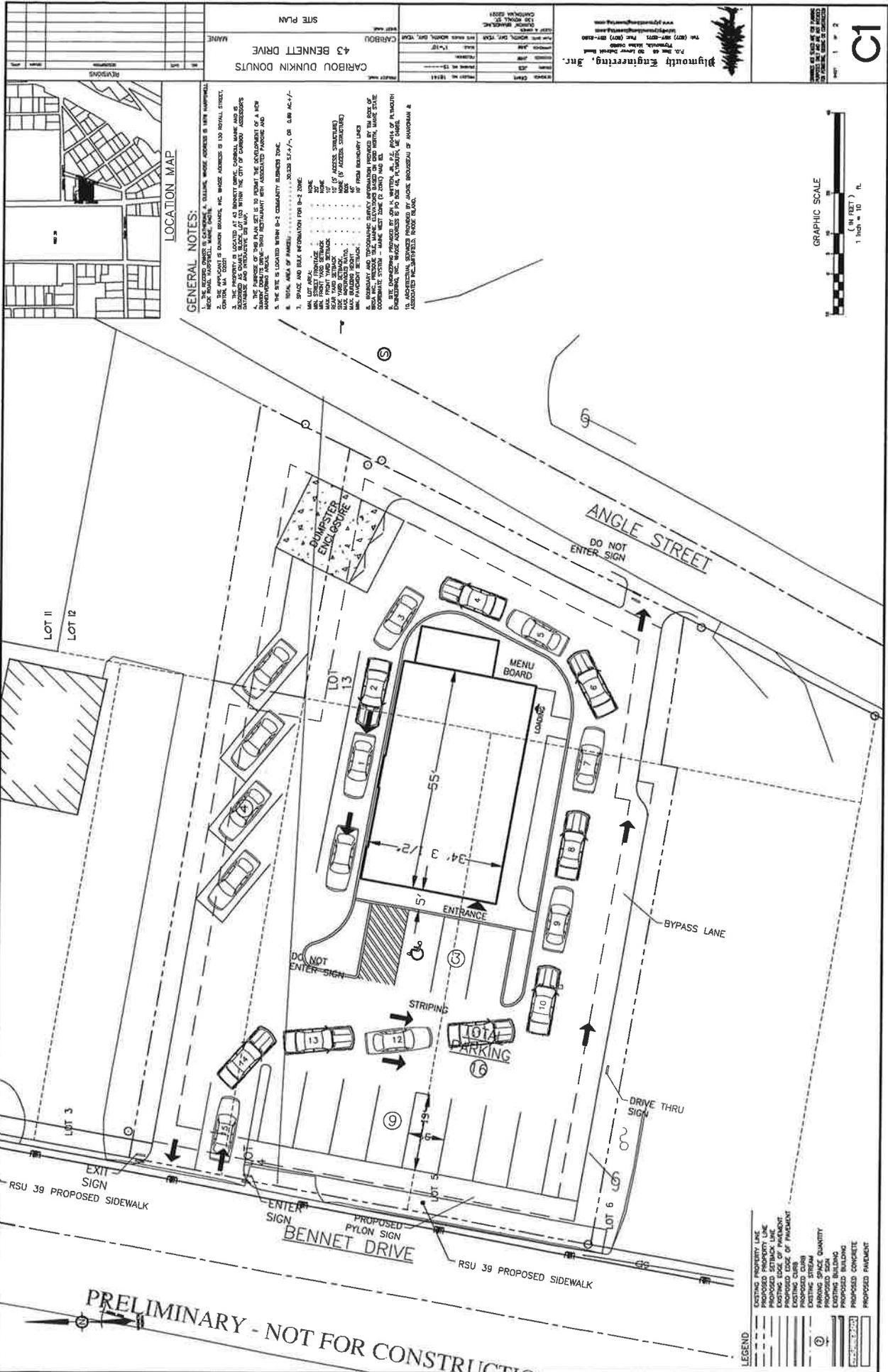
cc.

Joan Martin, Accounts Representative
Russell Plourde, Operator Water



Maine Rural Water Association 2017 Maine's Best Tasting Drinking Water





GENERAL NOTES:

1. THE RECORD OWNER IS CARIBOU, A TOWN, WHOSE ADDRESS IS 100 ROYAL STREET, CARIBOU, MAINE 04701.
2. THE PROPERTY IS LOCATED AT 43 BENNETT DRIVE, CARIBOU, MAINE AND IS SURVEYED AND PLANNED IN ACCORDANCE WITH THE CITY OF CARIBOU SUBDIVISION AND ZONING ORDINANCES.
3. THE CITY OF CARIBOU HAS REVIEWED AND APPROVED THE DEVELOPMENT OF A NEW BUILDING AND PARKING LOT AND THE REVISIONS TO THE PREVIOUS PLAN AND THE REVISIONS TO THE PREVIOUS PLAN.
4. THE SITE IS LOCATED WITHIN B-2 COMMUNITY BUSINESS ZONE.
5. TOTAL AREA OF PAVED DRIVEWAY, SIDEWALK, DRIVEWAY, OR DRIVEWAY AREA SHALL BE 10% OF THE TOTAL AREA OF THE SITE.
6. DRIVEWAY AND SIDEWALK SHALL BE CONCRETE.
7. DRIVEWAY SHALL BE 12" WIDE.
8. SIDEWALK SHALL BE 4" WIDE.
9. DRIVEWAY SHALL BE 12" WIDE.
10. DRIVEWAY SHALL BE 12" WIDE.
11. DRIVEWAY SHALL BE 12" WIDE.
12. DRIVEWAY SHALL BE 12" WIDE.
13. DRIVEWAY SHALL BE 12" WIDE.
14. DRIVEWAY SHALL BE 12" WIDE.
15. DRIVEWAY SHALL BE 12" WIDE.
16. DRIVEWAY SHALL BE 12" WIDE.

PROPERTY INFORMATION

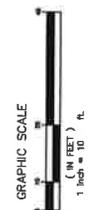
PROJECT NAME	CARIBOU DUNKIN' DONUTS
ADDRESS	43 BENNETT DRIVE
CITY/TOWN	CARIBOU
STATE	MAINE
DATE	
SCALE	
DRAWN BY	
CHECKED BY	
DATE	



PLIMOUTH ENGINEERING, INC.
 700 THE BAY AT 50 STATE STREET, SUITE 200
 PORTLAND, MAINE 04101
 TEL: (603) 875-0075 FAX: (603) 875-0100
 WWW.PLYMOUTHENGINEERING.COM

PROJECT INFORMATION

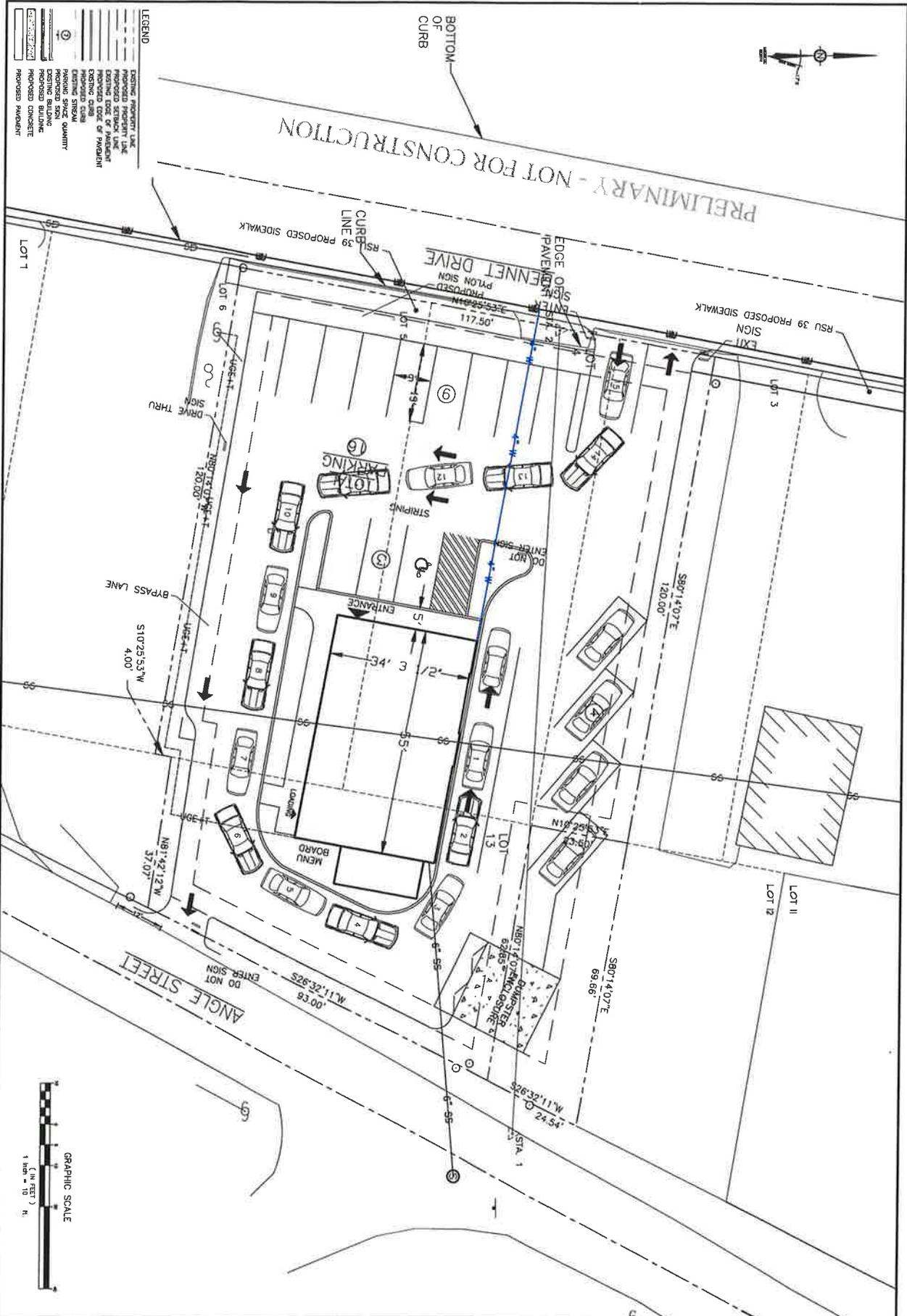
DATE	NOVEMBER 15, 2011
PROJECT NAME	CARIBOU DUNKIN' DONUTS
ADDRESS	43 BENNETT DRIVE, CARIBOU, MAINE
CITY/TOWN	CARIBOU
STATE	MAINE
DATE	
SCALE	
DRAWN BY	
CHECKED BY	
DATE	



LEGEND

[Symbol]	EXISTING PROPERTY LINE
[Symbol]	PROPOSED PROPERTY LINE
[Symbol]	EXISTING SIDEWALK
[Symbol]	PROPOSED SIDEWALK
[Symbol]	EXISTING DRIVEWAY
[Symbol]	PROPOSED DRIVEWAY
[Symbol]	EXISTING STREAM
[Symbol]	PROPOSED STREAM
[Symbol]	EXISTING BUILDING
[Symbol]	PROPOSED BUILDING
[Symbol]	EXISTING CONCRETE
[Symbol]	PROPOSED CONCRETE
[Symbol]	PROPOSED PAVEMENT

PRELIMINARY - NOT FOR CONSTRUCTION



LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- PROPOSED STRUCTURE LINE
- PROPOSED CURB LINE
- PROPOSED TOP OF PAVEMENT
- EXISTING CURB
- PROPOSED CURB
- PROPOSED SPACE QUANTITY
- PROPOSED SIGN
- PROPOSED BUILDING
- PROPOSED PAVEMENT



<p>Plymouth Engineering, Inc. P.O. Box 68 30 Lower DeWitt Road Plymouth, Maine 04075 Tel: (207) 887-8971 Fax: (207) 887-8982 info@plymouthengineering.com www.plymouthengineering.com</p>	<p>PROJECT NO: 12181 SHEET NO: 15 DATE: 11-10-10 SCALE: 1"=10' DRAWN BY: JMB CHECKED BY: JMB DATE: 11-10-10</p>	<p>CARIBOU DUNKIN' DONUTS 43 BENNETT DRIVE MAINE</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="2">REVISIONS</th> </tr> <tr> <th>NO.</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	REVISIONS		NO.	DESCRIPTION						
	REVISIONS												
NO.	DESCRIPTION												
<p>C2</p>	<p>GRADING AND UTILITY</p>												



Ken Murchison

From: Ken Murchison
Sent: Wednesday, October 24, 2018 4:02 PM
To: 'Jon Whitten'
Subject: RE: Caribou DD

Jon,

We are all set for the Public Hearing regarding Dunkin Brands, Inc. Caribou Dunkin Donuts project.

Our Development review Committee met and poured over your preliminary plans and came up with the following concerns and comments:

- What is the plan for snow load/removal?
- Signage, check sign setbacks from State of Maine Road also entrance/wayfaring signage cannot appear in the sidewalk areas.
- Site Circulation and Parking; minimum 24' driving aisles (this affects the pass by land for drive through queue and the spacing between the building and dumpster enclosure) moderate access by ordinance, Access Width On a two-way access the width shall be between 24 and 30', with a preferred width of 26', however where truck traffic is anticipated, the width may be no more than 30'. On a one-way access the width shall be between 16 and 20', with a preferred width of 20'.
- Reported parking stalls do not match what is shown on the plan.
- Off-street parking and loading spaces, where not enclosed within a building, by ordinance, shall be effectively screened from view by a continuous landscaped area not less than six (6) feet in height and fifteen (15) feet in width along exterior lot lines adjacent to residential properties, except that driveways shall be kept open to provide visibility for entering and leaving. No off-street parking and loading shall be permitted within the front setback or any setback adjoining a public street, except as specifically authorized in this Ordinance.)
- Provide "Wheel Tracking" plan for delivery and trash collection vehicles.
- Provide floor plan of the building, this will help determine the minimum number of required parking stalls for the site.
- Provide Landscape Plan (irrigation if applicable).
- Submit Storm Drain Plan
- Submit Lighting Plan

Overall, the concerns were related to the very compact lot size.

Best Regards,
Ken

From: Jon Whitten <jon.whitten@plymouthengineering.com>
Sent: Monday, October 15, 2018 8:56 AM
To: Ken Murchison <kmurchison@cariboumaine.org>
Subject: Caribou DD

Ken,
Did the Planning Board have any suggested revisions or additions for the site plan?

City of Carbon
Receipt

*** REPRINT ***
 11/16/18 2:59 PM JD:JRF
 #16659-1
 TYPE-----
 REF-----
 SITE DESIGN REVIE
 SITE DESIGN FEE
 Total: 90.00\$
 Paid By: DEBBIE RICHARDSON
 Remaining Balance: 0.00
 Cash : 90.00

90.00

AMOUNT

Code Enforcement - Inspections Permit Fee Payments at front counter - first floor.

Date: Nov 16, 2018

Customer Name: Derrell Richardson

		\$
13 - Building Permit:	Flat \$50 fee	_____
14 - Plumbing permit:	75% Caribou	_____
	25% State	_____
Shellfish Surcharge: \$15.00 (full system – external only)		_____
53 – Zoning Document fee:		_____
54 – Site Design Application: \$90 + \$10 / 2000 sq ft	<i>Use Permit Application</i>	<u>90.00</u>
55 – Board of Appeals Application:		_____
56 – Certificate of Occupancy: \$25.00		_____
57 – Demolition Permit: \$25.00 – waived if received in advance		_____
58 – Sign Permit:	\$50.00 per sign X _____ =	_____
59 – Subdivision Application: \$180 (first three) + \$10/each add'l		_____
61 – Heating Equip. Installation Permit: \$20.00 each X _____ =		_____
62 – Misc. Inspection Service: \$40.00 each X _____ =		_____
TOTAL:		\$ <u>90.00</u>

Plumbing Inspections: Please call Steve Wentworth, LPI 551-1007

Building Inspections: Please call Tony 493-5966

Planning Board agenda items: Please call Ken 493-5967



City of Caribou Use Permit Application

Planning & Code Enforcement
25 High St.
Caribou, Maine 04736
(207) 493 - 3324 X 214
kmurchison@cariboumaine.org

Public Hearing Notification fee \$90.00

Date Received: 11-16-2018

If Planning Board approval is required for your requested use, please be aware that the Board meets on the second Thursday of each month. Your application must be received in the Code Enforcement Office at least 15 business days in advance of the meeting in order to meet notification requirements. Please provide a dimensional site plan of your property showing the location of all buildings, parking and access from the public way.

Owner of Property: Derrell Richardson Phone: 207-768-0292

Mailing Address: 9 Bog Road
Caribou, Maine
04736 ↘ business name:
"Richardson Remedies"

Location of Property: 9 Bog Road

Tax Map: 15 Lot Number: 51-B Zone: R-3

Requested Use: Retail use 12' x 20' space, co-located
with personal service business. Will
have a separate entrance door from
outside. Items for sale = glassware

Signature of Applicant:  Date: 11-16-2018

City of Caribou

Receipt

Code Enforcement - Inspections Payments at front counter - first floor.

09/11/18 4:05 PM ID: CJM #13002-1
 TYPE----- REF--- AMOUNT
 BUILDING PERMITS
 BDLG PER LOCAL 50.00
 Total: 50.00*
 Paid By: Caribou Senior Housing, LL
 Remaining Balance: 0.00

018

Caribou Senior Housing, LLC

Cash :	100.00	Flat \$50 fee	\$ <u>50.00</u>
Change :	50.00		
		75% Caribou	_____
		25% State	_____

Shellfish Surcharge: \$15.00 (full system - external only)

53 - Zoning Document fee: _____

54 - Site Design Application: \$90 + \$10 / 2000 sq ft _____

55 - Board of Appeals Application: _____

56 - Certificate of Occupancy: \$25.00 _____

57 - Demolition Permit: \$25.00 - waived if received in advance _____

58 - Sign Permit: \$50.00 per sign X _____ = _____

59 - Subdivision Application: \$180 (first three) + \$10/each add'l _____

61 - Heating Equip. Installation Permit: \$20.00 each X _____ = _____

62 - Misc. Inspection Service: \$40.00 each X _____ = _____

TOTAL: \$ 50.00

Plumbing Inspections: Please call Steve Wentworth, LPI 551-1007

Building Inspections: Please call Tony 493-5966

Planning Board agenda items: Please call Ken 493-5967

CITY OF CARIBOU

BUILDING PERMIT APPLICATION

207-493-3324 ext. 3

DATE APPLICATION RECEIVED: _____
 No permits will be issued prior to 3 working days from receipt of application.

PROPERTY OWNER

Property Owner: CARIBOU Senior Housing LLC
 Property Address: OLD Hilltop School
 Mailing Address: 137 Bennett Drive, Caribou
 CARL Ph: 207-227-2829 SHAWN Cell: 207-551-9339

CONTRACTOR(S)

General Contractor: CSH LLC
 CARL Ph: 227-2829 SHAWN Cell: 551-9339
 Excavating Contractor: SODERBERG CO. INC.
 Ph: 498-6300 Cell: 227-2829
 Foundation Contractor: N/A
 Ph: _____ Cell: _____

PROJECT DESCRIPTION

Renovate the OLD HILLTOP SCHOOL Building into senior Housing units / OFFICES.

All Public Buildings require State Fire Marshal's Approval.
 Please ask for a SFMO Permit Application.

ESTIMATED COST OF PROJECT

\$ 3 million

OFFICE USE ONLY

Permit Number: _____
 Issue Date: _____
 Fee: \$ _____
 Approved By: _____

Map # _____ Lot # _____

Zone: _____

Setbacks:

Front _____ Rear _____ Sides _____

Special Zones:

- Shoreland
- Flood Zone
- Wetland
- Wellhead Protection District

BUILDING INFORMATION

Number of Stories:

1 Present
1 Proposed
1 Total

Height of Buildings:

30 Present
30 Proposed
30 Total

Number of Bathrooms:

	FULL	HALF
Present	<u>—</u>	<u>—</u>
Proposed	<u>38</u>	<u>—</u>
Total	<u>38</u>	<u>—</u>

Number of Bedrooms:

— Present
38 Proposed
38 Total

Present Septic System is approved for — Bedrooms

city sewer
 Type of Use (Check one)

- Year Round
- Seasonal

Residential Site Plan:

Please indicate the following items on the site plan:

Exact position of all new construction and existing structures (including accessory structures).

- Setback distances from property lines to all structures (front, back, and sides)
- Location of well and septic system including distances from structures and property lines
- Area to be cleared of trees and other vegetation
- Any wetlands or water bodies and setback distances from shoreline if applicable

Note: For all projects in the shoreland zone involving filling, grading or other soil disturbance, you must provide a soil erosion control plan describing the measures to be taken to stabilize areas before, during, and after construction.

Note: The State of Maine has adopted the following codes and standards and has mandated that Caribou enforce these codes as well as all existing fire and life safety codes as of January 23, 2018:

2015 International Building Code
2015 International Residential Code
2009 International Energy Conservation Code
2015 International Existing Building Code
2013 ASHRAE 62.1, Commercial Ventilation Standard
2013 ASHRAE 62.2, Residential Ventilation Standard
2013 ASHRAE 90.1, Commercial Energy Standard
2008 ASTM E 1465, Radon Code

Building Plans:

Note: All new construction of both Residential and Commercial structures now requires a complete set of Building Plans and Energy Conservation Detail Plans.

Floor Plan & Elevations
Complete Foundation
Radon Collection System
Complete Framing for Floors, Walls, Roof System, Stairways & Decks
Energy Conservation Detail for Basement Slab, Walls, Ceiling, Windows & Doors,

Note: All new construction of Commercial & Residential structures now require a complete set of Building Plans and Energy Conservation Detail Plan. Commercial building plans must be stamped by a Maine Licensed Professional Engineer or Architect. COMcheck Compliance Certificate is required for commercial projects. REScheck Compliance Certificate is required for residential construction.

Note: Storage and similar small buildings of 120 square feet or less do not require building permits.

SIGNATURE & POLICY PAGE

ADDITIONAL REQUIREMENTS FOR NEW CONSTRUCTION ON AN UNDEVELOPED SITE

1. Property location, street address, map and lot number from City Assessor
2. Curb Cut / Culvert Permit from Public Works or MDOT
3. Sub Surface Waste Water Design, HHE-200 (if applicable)
4. Copy of Deed, Lease, or Purchase & Sale Agreement (for undeveloped lot)

Please read and initial each item below, sign, and date the application

- I understand that building permits do not include plumbing, septic, or electrical work.
- I understand that building permits are valid for one year.
- I agree to comply with all applicable Building Codes, Energy Conservation Codes, Fire Codes & the 2009 Life Safety Code.
- I understand that my building(s) cannot be within the set back from my property line.
- I agree to schedule all inspections and get written permission before backfilling the foundation.
- ~~Done~~ I agree to schedule an inspection of the Radon Control System prior to placement of the basement slab.
- I will not close in the walls until the framing, insulation, vapor barrier, electrical, and plumbing has been inspected.
- I authorize inspections necessary to insure compliance with regulations.
- I understand that a Certificate of Occupancy is required prior to occupying the building.
- I certify that all information given in this application is accurate and complete.

Applicant

Signature

Date

BUILDING PERMIT FEES

Effective 1/1/2017: \$50

All building permits – now a flat \$50 permit fee

It is our policy to review and process applications as quickly as possible to ensure code compliance for your safety as well as the safety of others. Fees will be collected when your permit is issued. We accept cash or checks made payable to the City of Caribou.

ADDITIONAL PERMITS, APPROVALS, AND INSPECTIONS REQUIRED

<input type="checkbox"/> Plumbing Permit	<input type="checkbox"/> Swimming Pool Permit	<input type="checkbox"/> Fire Marshall's Office
<input type="checkbox"/> Electrical Permit	<input type="checkbox"/> Sign Permit	<input type="checkbox"/> MDOT
<input type="checkbox"/> Septic/HHE200 Permit	<input type="checkbox"/> Culvert (Public Works)	<input type="checkbox"/> DEP
<input type="checkbox"/> Septic Variance	<input type="checkbox"/> Curb Cut (Public Works)	<input type="checkbox"/> EPA
<input type="checkbox"/> Planning Board	<input type="checkbox"/> Road Opening (Public Works)	<input type="checkbox"/> ARMY Corp of Engineers
<input type="checkbox"/> Board of Appeals	<input type="checkbox"/> Shoreland	<input type="checkbox"/> Wetland

OFFICE USE ONLY

This application is

APPROVED

The following conditions are prescribed:

DENIED

Reason for denial:

Building Official

Date

SCHEDULE OF INSPECTIONS

INSPECTION	DATE	INSPECTOR	INSPECTION NOTES
<input type="checkbox"/> Footings	_____	_____	_____
<input type="checkbox"/> Foundation	_____	_____	_____
<input type="checkbox"/> Radon	_____	_____	_____
<input type="checkbox"/> Framing	_____	_____	_____
<input type="checkbox"/> Insulation	_____	_____	_____
<input type="checkbox"/> Plumbing	_____	_____	_____
<input type="checkbox"/> Electrical	_____	_____	_____
<input type="checkbox"/> Septic	_____	_____	_____
<input type="checkbox"/> Final Occupancy	_____	_____	_____
<input type="checkbox"/> _____	_____	_____	_____
<input type="checkbox"/> _____	_____	_____	_____

CITY OF CARIBOU

Code Enforcement Office

As of July 1, 2012, the State of Maine requires that MUBEC be enforced in a municipality with a population of over 4,000 residents. MUBEC is the Maine Uniform Building and Energy Code. MUBEC was last updated January 23, 2018 and complete information can be found here:

<http://www.maine.gov/dps/bbcs/>

The following information is required to be submitted before a residential building permit can be issued:

1. A completed "City of Caribou Building Permit Application" (4-pages)
2. A complete set of building plans which show the following (if applicable):
 - a. Footing detail including drain
 - b. Foundation detail including anchors
 - c. Radon collection detail if it is to be installed
 - If you are building a new home, please request a copy of the EPA publication "Building Radon Out"
 - d. Detail for column footings
 - e. Detail for chimney footing
 - f. Insulation detail for basement walls and floor
 - g. Floor plan for each floor indicating room use
 - h. Framing detail for floor systems
 - i. Framing detail for walls, doors, windows
 - j. Insulation and vapor barrier detail for all exterior walls
 - k. Framing detail for all stairs and stairwells
 - l. Framing detail for roof system
 - Trusses must be engineered
 - m. Ventilation detail for roof system
 - n. Insulation and vapor barrier detail for ceiling
 - o. Energy ratings for doors, windows and HVAC equipment
3. Site plan which shows the following:
 - a. Any existing buildings, structures or features that may affect construction
 - b. Set back compliance to property lines
 - c. Location of water source (well)
 - d. Location of subsurface wastewater disposal system (septic system)
 - Location of both tank and leach field
 - Proof that the system is appropriately sized for use
 - e. Location of driveway or access
 - f. Location of any pond, stream or wetland within 250 feet
 - g. Topography changes of lot within 100 feet of structure

**** YES – THE APPLICABLE ITEMS ARE REQUIRED FOR GARAGES ALSO! ****

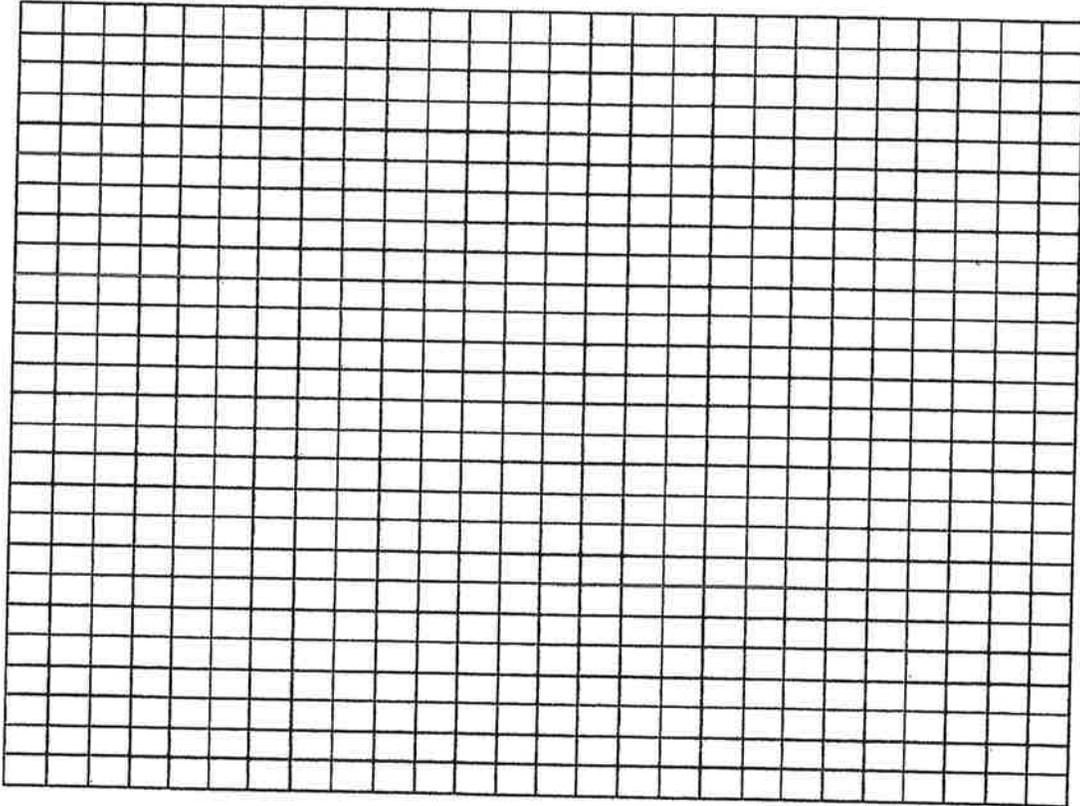
FRONT OR REAR ELEVATION

SIDE ELEVATION

Draw a simple sketch showing both the existing and proposed structures.

PLEASE INCLUDE: Lot lines, area to be cleared of trees and other vegetation; the exact position of proposed structures, including decks, porches, and outbuildings with accurate setback distances from the shoreline, side and rear property lines; the location of proposed wells, septic systems; and driveways; and areas and amounts to be filled or graded. If the proposal is for the expansion of an existing structure, please distinguish between the existing structure and the proposed expansion.

↑
North



Scale: _____ = _____ Ft.

Residential Decks

Permit and Construction Guidelines

Builders and homeowners are required to obtain a permit prior to constructing, altering or replacing a deck.

Plan Submittals

The following information shall be submitted to the building department for their review in order to obtain a deck permit. All of the information shown on the sample documents should be contained in all plan submittals. Additional information may be necessary.

The first requirement is submittal of a **Site Plan**, drawn to scale, for the property where the deck is to be built. Please provide all the information shown on the sample.

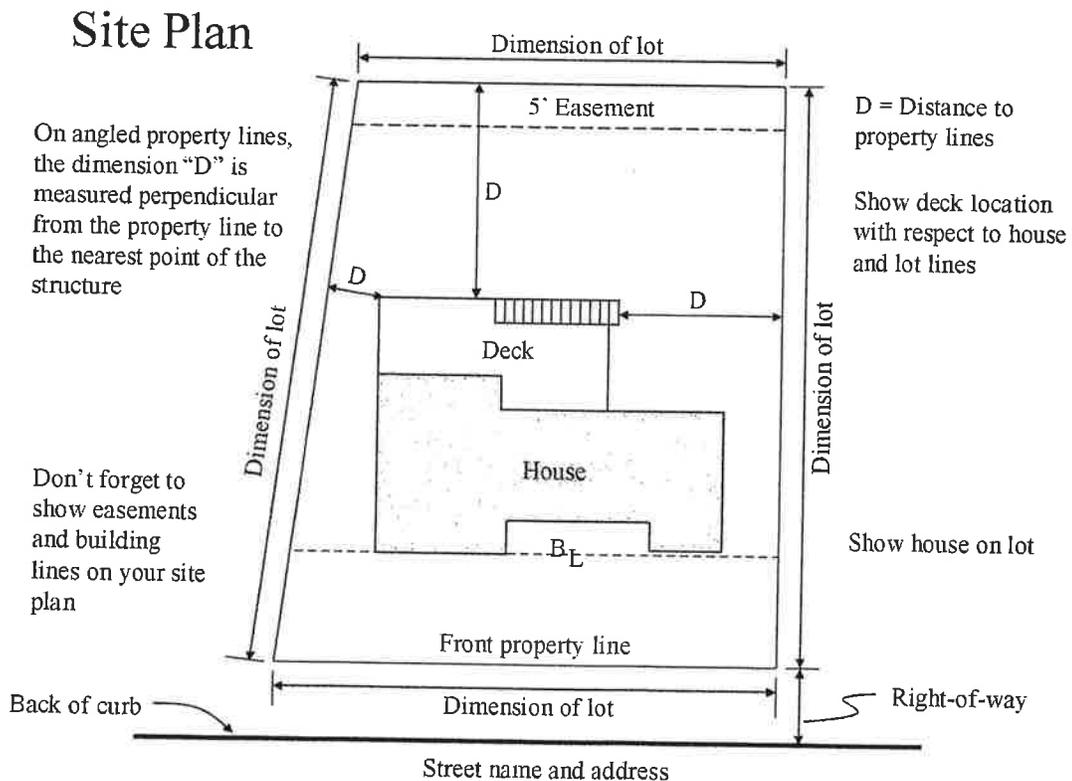


Figure 1

All lot dimensions shall be shown on the Site Plan. The distances to property lines must meet any side and rear yard setback requirements. This Site Plan may be drawn by the builder or the homeowner and does not have to be sealed by a design professional.



City of Caribou Demolition Permit Application

Planning & Code Enforcement
25 High St.
Caribou, Maine 04736
(207) 493 - 3324 X 214
kmurchison@cariboumaine.org

To the BUILDING OFFICIAL and/or CODE ENFORCEMENT OFFICER of the City of Caribou, Maine:

The undersigned hereby applies for a permit to demolish the following building / structure in accordance with the Laws of the State of Maine and the City of Caribou municipal code.

NOTE: DEP Asbestos Inspection Form and Asbestos Building Demolition (2-paged Form D - 2011) attached

Location of building: Hilltop School

City of Caribou Tax Map and Lot number: Map #: _____ Lot#: _____

Description of building / structure to be demolished:

interior walls/ceilings/windows/floors & doors to be renovated

NOTE: Each building / structure required a separate completed application and fee!

Owner name: Caribou Senior Housing LLC

Owner address: 137 Bennett Drive

Owner phone: 207-227-2829 Cell phone: 207-551-9339

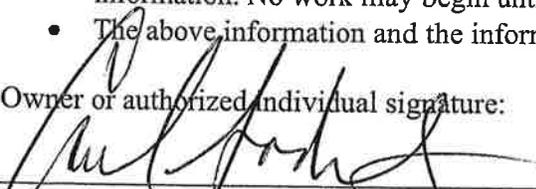
Anticipated date for demolition: Nov 1 2018 thru MAY 2019

By signing below, I agree to the following:

- I have read, understand & will comply with Caribou municipal code Section 4-103.3 Building Demolition
- I have read and I understand the 8-page bulletin "Asbestos Issues in Maine"
- I understand that the Maine DEP requires that an Asbestos Inspection Form be completed prior to renovation or demolition projects and a copy of this form is attached hereto

- I understand that if the building / structure to be demolished requires asbestos inspection or abatement that it will be conducted in accordance with Maine DEP regulations
- I understand that a Demolition Permit will not be issued until the City of Caribou has received all information. No work may begin until a Demolition Permit has been issued.
- The above information and the information contained on any attachments is correct.

Owner or authorized individual signature:


 Printed name: CARL SOUDER DEP

Date: 9/10/18

NOTE: Any contractor applying for a Demolition Permit on behalf of the property owner must also provide a copy of a signed contract by the owner.

*** This section to be completed by municipal official. ***

Date Application Received: _____ Received By: _____
 (initials)

Pre-demolition inspection date: _____ Inspected By: _____
 (initials)

DEP Asbestos Form attached: _____

\$25 fee paid: _____

Demolition instructions: _____

Date permit issued: _____

Permit Issued By: _____
 Authorized Signature

Printed name: _____

Title: _____

Sec. 4-103.2 Building Demolition

a. Any building or structure to be demolished within the City of Caribou, (urban or suburban) requires a Demolition Permit issued by the Code Enforcement Office. Any property owner wishing to obtain a demolition permit must provide the CEO with proof of ownership or a copy of the deed, a completed Demolition Permit Application and schedule of demolition activity. All demolition, clean up and at least one foot of gravel cover with loam and mulch must be completed within one year from the date the permit is issued.

Any contractor applying for a Demolition Permit on behalf of the property owner must also provide a copy of a signed contract by the owner. Any person wishing to demolish a building must provide written proof that all utility providers have removed service from the building to be razed.

b. The Caribou Fire Department must be notified at least 5 business days in advance of the commencement of demolition. At the discretion of the Caribou Fire Chief or their designee, the Fire Department may choose to burn the building as a training exercise provided the property owner initially request such action for consideration.

c. Prior to the commencement of demolition, on the day the building is to be razed, the site must be inspected by the Caribou Building Inspector. The inspection must be scheduled with at least a 24 hour notice in advance.

d. No demolition debris may be buried on site within the Urban Compact Zone.

Demolition debris may be buried on site if located outside of the Urban Compact Zone with the following provisions:

- 1.) No debris may be buried within 100 feet of any property line.
- 2.) No debris may be buried within 100 feet of an existing water well.
- 3.) Biodegradable and inert demolition debris may be buried on site.
- 4.) Inert materials such as brick, concrete or stone may be buried on site, hauled to an off site gravel pit or delivered to a Licensed Disposal Facility.
- 5.) All non biodegradable debris such as asphalt shingles, asbestos, carpeting, sheetrock, vinyl or metal siding, painted materials or similar materials must be delivered to the Tri Community Landfill or another Licensed Disposal Facility. If materials are to be delivered to a Licensed Disposal Facility, a copy of the contract with the Disposal Facility must accompany the Demolition Permit Application.
- 6.) The burial site must be covered with sufficient loam and seeding to prevent erosion of the site unless established as impervious surface pursuant to the redevelopment of the site.

e. A final inspection is required. The owner or contractor must notify the Code Enforcement Officer at the completion of site recovery.

Note: Maine State Law requires demolition notification to the Department of Environmental Protection for certain buildings and buildings with asbestos to be made by the owner.

A record of any demolished building buried on site must be recorded at the Registry of Deeds for Aroostook County in Houlton.

Sec. 4-104 Saving Clause

Nothing in this Ordinance or in the Building Code hereby adopted shall be construed to affect any suit or proceeding impending in any court, or any rights acquired, or liability incurred, or any cause or causes of action acquired or existing, under any act or ordinance hereby repealed as cited in Section 2 of this Ordinance; nor shall any just or legal right or remedy of any character be lost, impaired or affected by this Ordinance.

Sec. 4-105 Date of Effect

The City Clerk shall certify to the adoption of this Ordinance and cause the same to be published as required by law; and the Ordinance shall take full force and effect September 1, 1997, adopted July 14, 1997.



ASBESTOS INSPECTION FORM



MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION
Lead & Asbestos Hazard Prevention Program
17 State House Station, Augusta, Maine 04333

This form is used to determine if an inspection for asbestos is required prior to renovation or demolition projects

If your project involves the demolition and or renovation of a single family residence or a residential building with less than 5 units, please answer the following questions to determine whether you need to have your inspection performed by a Maine-licensed Asbestos Inspector:

Does this demolition/renovation project involve more than ONE residential building at the same site with the same owner?	Y	N
Is this building currently being used, or has it EVER been used, as a commercial, government, daycare, office, church, charitable or other non-profit place of business?	Y	N
Is this building to be demolished as part of a highway or road-widening project?	Y	N
Is this building part of a building cooperative, apartment or condo building?	Y	N
Is this building used for military housing?	Y	N
Have other residences or non-residential buildings at this site been scheduled to be demolished now, or in the future, as part of a larger project?	Y	N
Is more than ONE building to be lifted from its foundation and relocated?	Y	N
Will this building be intentionally burned for the purpose of demolition or fire department training?	Y	N

IF YOU ANSWER "NO" TO ALL THE QUESTIONS ABOVE, YOUR BUILDING CAN BE INSPECTED BY A KNOWLEDGEABLE NON-LICENSED PERSON AS APPLICABLE (SEE REVERSE SIDE)

ANY "YES" ANSWERS TO THE ABOVE QUESTIONS REQUIRES AN INSPECTION BY A MAINE-LICENSED ASBESTOS INSPECTOR

Remember:

If your renovation project requires the removal of asbestos containing materials, the removal of those materials must be done by a Maine-licensed asbestos abatement contractor.

Before you can demolish any building, including single-family residences, all asbestos materials must be removed from the building. The removal of those materials must be done by a Maine-licensed asbestos abatement contractor, except single-family homeowners may remove some asbestos under certain circumstances (Contact DEP for more information).

With the exception of a single family home, building owners are required to submit the Asbestos Building Demolition Notification to the DEP at least five (5) working days prior to the demolition **EVEN IF NO ASBESTOS** is present.

Once the asbestos is removed, the renovation or demolition project may be performed by any preferred contractor.

I CERTIFY THAT THE ABOVE INFORMATION IS CORRECT

Print Name: Owner/Agent

Title

Signature

Telephone #

FAX #

Date

Keep this completed form for your records

62



Instructions for Completing the Asbestos Inspection Form

Contact: (207) 287-2651

State and Federal laws require that buildings be inspected for asbestos-containing materials before renovation or demolition activities begin. To determine whether you need to have an inspection performed by a Maine-licensed Asbestos Inspector, or whether you can have an evaluation performed by a knowledgeable non-licensed individual familiar with asbestos containing building materials, (e.g. building inspectors and CEO's who have asbestos-awareness training) depends on the age of the building, current/past use, and number of units. If you are renovating a building you need only inspect the area(s) that will be impacted by the renovation. If you are demolishing the building, the entire structure must be inspected.

For projects in single family residences and residential buildings with less than 5 units, please read and answer the questions on the Asbestos Inspection Form provided on the reverse side. You are not required to submit the form to our department, however, you should sign and keep a copy for your records. If you answer Yes to any question, you need to have your building inspected by a Maine-licensed Asbestos Inspector.

Except as noted above, the following applies:

- Buildings other than residential buildings with less than 5 units (ie institutional, commercial, public, industrial) must be inspected by a Maine-licensed Asbestos Inspector.
- Residential buildings with 2-5 units that were built before 1981 can be surveyed for likely asbestos-containing materials by knowledgeable non-licensed people (e.g. building inspectors and CEO's who have asbestos-awareness training); any materials likely to contain asbestos must be tested by a DEP-licensed inspector or assumed to be ACM.
- Single-family residences and residential buildings built after 1980 are not required to be surveyed for asbestos-containing materials prior to demolition (residential buildings built after 1980 are not likely to contain ACM).

In lieu of any required inspection you may assume suspect material to be positive for asbestos and have it removed accordingly. You may never assume material to be non-asbestos.

If your renovation project will impact more than 3 square feet or 3 linear feet of asbestos containing materials, the ACM must be removed by a Maine-licensed asbestos abatement contractor prior to renovation, except single-family homeowners may remove some asbestos under certain circumstances (Contact DEP for more information). Before you can demolish any building, including single-family residences, all asbestos materials must be removed from the building; again the removal of ACM must be done by a Maine-licensed asbestos abatement contractor. Once the asbestos is removed, the renovation or demolition project may be performed by any preferred contractor.

With the exception of a single family home, building owners are required to submit the **Asbestos Building Demolition Notification** to the DEP at least five (5) working days prior to the demolition EVEN IF NO ASBESTOS is present.

If you have any questions or need assistance completing the forms do not hesitate to call the Maine DEP Asbestos Program at (207) 287-2651. You may also go to www.maine.gov/dep/rwm/asbestos/index.htm to access forms and other information on asbestos.

**Asbestos Building
Demolition
Notification**

State of Maine
Department of Environmental Protection
Lead & Asbestos Hazard Prevention Program
17 State House Station, Augusta, ME 04333
TEL (207) 287-2651 FAX (207) 287-6220

**FORM
D**

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2015

Notice

Prior to demolition, building owners must determine if there is any asbestos-containing material(s) (ACM) in the building. An "asbestos inspection" by a MDEP-licensed Asbestos Consultant is required for all buildings regardless of construction date, except single-family homes and residential buildings with 2-4 units built after 1980. In lieu of an asbestos inspection, pre-1981 residential buildings with 2-4 units can be surveyed to identify possible ACM by someone knowledgeable about ACM, such as a code enforcement officer or building inspector.

If your project involves the demolition of a single family residence or a residential building with less than 5 units, please answer the following questions to determine whether you need to have your inspection performed by a MDEP-licensed Asbestos Consultant:

- | | | |
|---|------------------------------|--|
| Does this demolition/renovation project involve more than ONE residential building at the same site with the same owner? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| Is this building currently being used, or has it EVER been used, as a commercial, government, daycare, office, church, charitable or other non-profit place of business? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| Is this building to be demolished as part of a highway or road-widening project? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| Is this building part of a building cooperative, apartment or condo building? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| Is this building used for military housing? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| Have other residences or non-residential buildings at this site been scheduled to be demolished now, or in the future, as part of a larger project? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| Is more than ONE building to be lifted from its foundation and relocated? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| Will this building be intentionally burned for the purpose of demolition or fire department training? | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |

If you answer "no" to all the questions above, your building can be inspected by a knowledgeable non-licensed person as applicable.

Any "yes" answers to the above questions requires an inspection by a MDEP-licensed Asbestos Consultant.

Important Notice

Before you can demolish any building, including single-family residences, all asbestos materials must be removed from the building. The removal of those materials must be done by a MDEP-licensed Asbestos Abatement Contractor, except single-family homeowners may remove some asbestos under certain circumstances (Contact MDEP for more information).

With the exception of a single family home, building owners are required to submit the Asbestos Building Demolition Notification to the MDEP at least five (5) working days prior to the demolition **EVEN IF NO ASBESTOS** is present.

Asbestos Building Demolition Notification

State of Maine
 Department of Environmental Protection
 Lead & Asbestos Hazard Prevention Program
 17 State House Station, Augusta, ME 04333
 TEL (207) 287-2651 FAX (207) 287-6220

FORM D

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 2015

Inspection/Survey Results:

Were asbestos-containing building materials identified or presumed positive? Yes No

If Yes, is the removal of ACM subject to MDEP asbestos regulations? Yes No

If No, explain WHY NOT: _____

property address: <i>Hill Top School CARIBOU, MAINE 04736</i>	building description: <input type="checkbox"/> pre 1981 residential with 2-4 units <input type="checkbox"/> post 1980 residential with 2-4 units <input checked="" type="checkbox"/> other: <i>School</i>
asbestos survey/inspection performed by: (name & address) <i>C.E.S. - Brewer, Maine</i>	asbestos abatement contractor <i>TBD</i>
telephone:	telephone:
property owner: (name & address) <i>CARIBOU Senior Housing LLC</i>	demolition contractor: (name & address) <i>CSH LLC</i>
telephone: <i>207-227-2829</i>	telephone: <i>207-227-2829</i>
demolition start date:	demolition end date:

Whenever more than 3 square feet or 3 linear feet of ACM is identified, the ACM must be abated in accordance with the Maine Asbestos Management Regulations by a DEP-licensed Asbestos Abatement Contractor. This includes materials presumed to be ACM. Check www.maine.gov/dep/rwm/asbestos/index.htm for a listing of asbestos contractors.

Prior to issuing a local demolition permit, the MDEP requests that **municipalities** have applicants for municipal demolition permits complete this form and fax it to the MDEP at 207-287-6220. Municipalities should not issue local demolition permits if the required asbestos inspection or survey has not been performed and identified ACM removed.

This demolition notification does not take the place of the Asbestos Project Notification if applicable

I CERTIFY THAT THE ABOVE INFORMATION IS CORRECT

CARL SODERBERG
 Print Name: Owner/Agent

Partner
 Title

[Signature]
 Signature

Telephone # _____

FAX # _____

Date _____

State of Maine

Department of Environmental Protection
Lead & Asbestos Hazard Prevention Program
17 State House Station, Augusta, Maine 04333
TEL (207) 287-2651 FAX (207) 287-6220

Asbestos Abatement Project Visual Evaluation Form B

Asbestos Abatement Project Code:

Important Notice

Pursuant to 06-096 CMR 425, Maine Asbestos Management Regulations, a documented visual evaluation for the following asbestos abatement activities when air clearance sampling is not required must be included in the final asbestos abatement project report: roofing removed by mechanical roof saws or cutters, removal of exterior cementitious products, glove bag and wrap and cut operations and final inspection after removal of containment. Individuals conducting visual evaluations must be certified or accredited as shown below. Completion of Form B and inclusion into the final abatement report constitutes compliance with the requirements of 06-096 CMR 425.

Choose one of the following:

- Roofing removed by mechanical roof saws or cutters (visual evaluation by contractor employed Asbestos Project Supervisor, Air Monitor, OSHA trained competent person or third party independent Air Monitor).
- Exterior cementitious products (visual evaluation by contractor employed Asbestos Project Supervisor, Air Monitor, OSHA trained competent person or third party independent Air Monitor).
- Glove bag and wrap and cut activities where "Project Totals" are less than 100 ((visual evaluation by contractor employed Air Monitor, or third party independent Air Monitor).
- Glove bag and wrap and cut activities where "Project Totals" are more than 100 (visual evaluation by **third party independent Air Monitor**).
- Final Inspection after Removal of Containment (visual evaluation by contractor employed Asbestos Project Supervisor, Air Monitor, or third party independent Air Monitor). **The Final Inspection is required for all asbestos abatement projects including the asbestos abatement activities listed above.**

Asbestos Abatement Contractor Name & Physical Address:

Company Name:
Street:
City: State: Zip:
Telephone: FAX:
Contact:

Asbestos Abatement Project Location:

Facility Name:
Street:
City: State: Zip:
Owner:

Visual Evaluation by:

- Asbestos Abatement Contractor employee Third party independent Air Monitor

Comments:

Signature:

I certify that I have personally examined the regulated area of the above named asbestos abatement project and found that the regulated area was clear of visible debris as required by 06-096 CMR 425, Maine Asbestos Management Regulations.

Signature _____

Date:

Print Name

Title:

ME Certification #:

Expiration Date:

Demolition/Renovation Asbestos Inspection Requirements

Commonly Asked Questions for Commercial/Public Buildings And Buildings Housing 5 or more Dwelling Units or Leased/Rental Units

Question: My reno/demo project is in a library building. Do I need to hire an inspector to perform an inspection for asbestos before I can begin the work?

Response: Yes. Public and Industrial use buildings are considered commercial. This means a Maine certified/licensed Asbestos Inspector must perform an inspection for asbestos-containing material (ACM) prior to commencement of work. If asbestos is identified removal by a Maine licensed Asbestos Contractor is required. In addition the project must be notified according to Maine asbestos regulations. This applies to all commercial buildings regardless of age unless documents exist that show no asbestos is present, such as a previous inspection report or letter from an architect verifying that no asbestos materials were used in the building construction.

Note: In lieu of any required inspection you may assume suspect material to be positive for asbestos and have it removed accordingly. You may never assume material to be non-asbestos.

Question: I am renovating a single family dwelling that was at one time used for commercial purposes. Do I need to have the building inspected?

Response: Yes. If the single family dwelling is currently or has ever been used as a commercial, government, daycare, office, church, charitable or other non-profit place of business it must be inspected as above.

Single family residences that were never used for commercial purposes, and residential dwellings constructed after 1980 that consist of two (2) to four (4) units, are exempt from the inspection requirement of Maine's Asbestos Regulations; however home owners should conduct a walk through of the building to identify any suspect asbestos-containing building materials. Homeowners are responsible for any disturbance of ACM in amounts greater than 3 square or 3 linear feet. If suspect material is found the homeowner should contact the Maine DEP, a licensed asbestos consultant or contractor for help.

Question: I am renovating an apartment building that has less than 5 units. Do I need to hire a state licensed inspection company?

Response: If the building was constructed before 1981 and consists of 2 to 4 dwelling units or leased/rental units you may do one of the following:

- Have an inspection for ACM performed by a Maine licensed Asbestos Inspector, or
- Have the inspection performed by a person familiar with ACM (such as a code enforcement officer or building inspector), or
- You may assume any suspect material to be asbestos and have those materials removed in accordance with state rules.

Question: What are suspect ACM materials?

Response: Suspect asbestos-containing building materials include thermal system insulation, ceiling tile, exterior cementitious siding, rigid panels, attic and wall insulation, vinyl floor tile and resilient floor covering (linoleum). Specific building materials that do not require inspection, sampling, and analysis for asbestos include: wood, fiberglass, glass, plastic, metal, laminates, and gypsum board when joint compound was used only as a filler and not as a layered component, and exterior caulking and glazings.

Question: Are there any other materials regulated in Maine that must be removed from a building prior to demolition?

Response: Any identified hazardous waste and other universal wastes should be part of any pre-demolition site assessment and cleanup phase. For instance it is illegal to dispose of PCB's and mercury-containing products in Maine. Fluorescent light fixtures made before 1980 contain a ballast that has PCB's in it. The most common mercury-containing products found in buildings are thermostats and fluorescent light bulbs. Check the Maine DEP website at

www.maine.gov/dep/rwm/hazardouswaste/pdf/uwrecyclingcompanies.pdf for locations and businesses that will recycle these "universal wastes."

If you have any questions on asbestos, or state and federal asbestos regulations, please call the DEP's Lead & Asbestos Hazard Prevention Program at (207) 287-2651.

An up-to-date list of DEP-licensed asbestos contractors and consultants is available from the department by calling (207) 287-2651 or on the internet at www.maine.gov.

Burning Construction & Demolition Debris is Risky Business

Smoke contains chemicals that can aggravate asthma, cause cancer and other health problems. Ash and runoff can pollute your drinking water and pose a risk to the health of your family and neighbors.

When CDD is burned, the **landowner is liable** for any contamination of ground and surface water and for the cost of cleanup.

Construction and Demolition Debris (CDD) may be buried only on the site where it was generated, provided the area of disposal is less than one acre and there are no additional disposal areas on the property. Otherwise, all CDD should be removed by a licensed solid waste transporter.

Construction and Demolition Debris (CDD) is wood and non-wood wastes from the demolition or construction of buildings. CDD also includes road pavement (asphalt), fish nets, mattresses, and furniture.

**For information on
open burning permits,
contact Maine Forest Service**

Southern Region Headquarters

Bolton Hill, Augusta
(207) 624-3700

Central Region Headquarters

Old Town
(207) 827-1800

Northern Region Headquarters

Ashland
(207) 435-7963

**It is legal to burn only the wood
portion of Construction and
Demolition Debris (CDD). It is
illegal to burn treated wood,
shingles, siding, wiring, insulation,
and all other non-wood materials.**

**For information on
disposal of CDD**

Contact Maine DEP

Central Maine Regional Office

Augusta
800-452-1942

Eastern Maine Regional Office

Bangor
888-769-1137

Northern Maine Reg. Office

Presque Isle
888-759-1053

Southern Maine Reg. Office

Portland
888-769-1036

www.maine.gov/dep/rwm/solidwaste

ARE YOU THINKING ABOUT BURNING CONSTRUCTION & DEMOLITION DEBRIS?



**Protect Yourself
and Others
Follow the Law**



Never Burn

These materials produce especially dangerous smoke and ash:

treated wood

plastics

styrofoam

wire insulation

vinyl siding

asbestos-containing materials

rubber

metals

food wastes

chemicals

trash

asphalt shingles

paper

cardboard

mattresses

furniture

tires

tar

paints

solvents

sludge

insulation

other solid and liquid wastes

Call a licensed solid waste transporter to safely dispose of CDD at a licensed solid waste disposal facility.

Contact the DEP for a list of licensed transporters:

1-800-452-1942

Ask these questions

before you burn wood from CDD:

Will you burn the debris on the site where it was generated?

Wood from construction and demolition debris (CDD) may be disposed or burned only on the site where it is generated, provided the area of disposal is less than one acre and there are no additional disposal areas on the property.

It is illegal to collect and stockpile or burn wood from CDD

generated offsite. Wood Construction and Demolition Debris means wood wastes from the demolition or construction of buildings.

Have you separated all non-wood waste from the pile?

Only wood wastes and wood from CDD generated onsite may be burned.

"Wood waste" means: brush, stumps, lumber, bark, wood chips, shavings, slabs, edgings, slash, sawdust and wood from production rejects that are not mixed with other solid or liquid waste. "Lumber" must be made entirely of wood and be free from metal, plastics, coatings and chemical treatments.

Is the wood painted or stained?

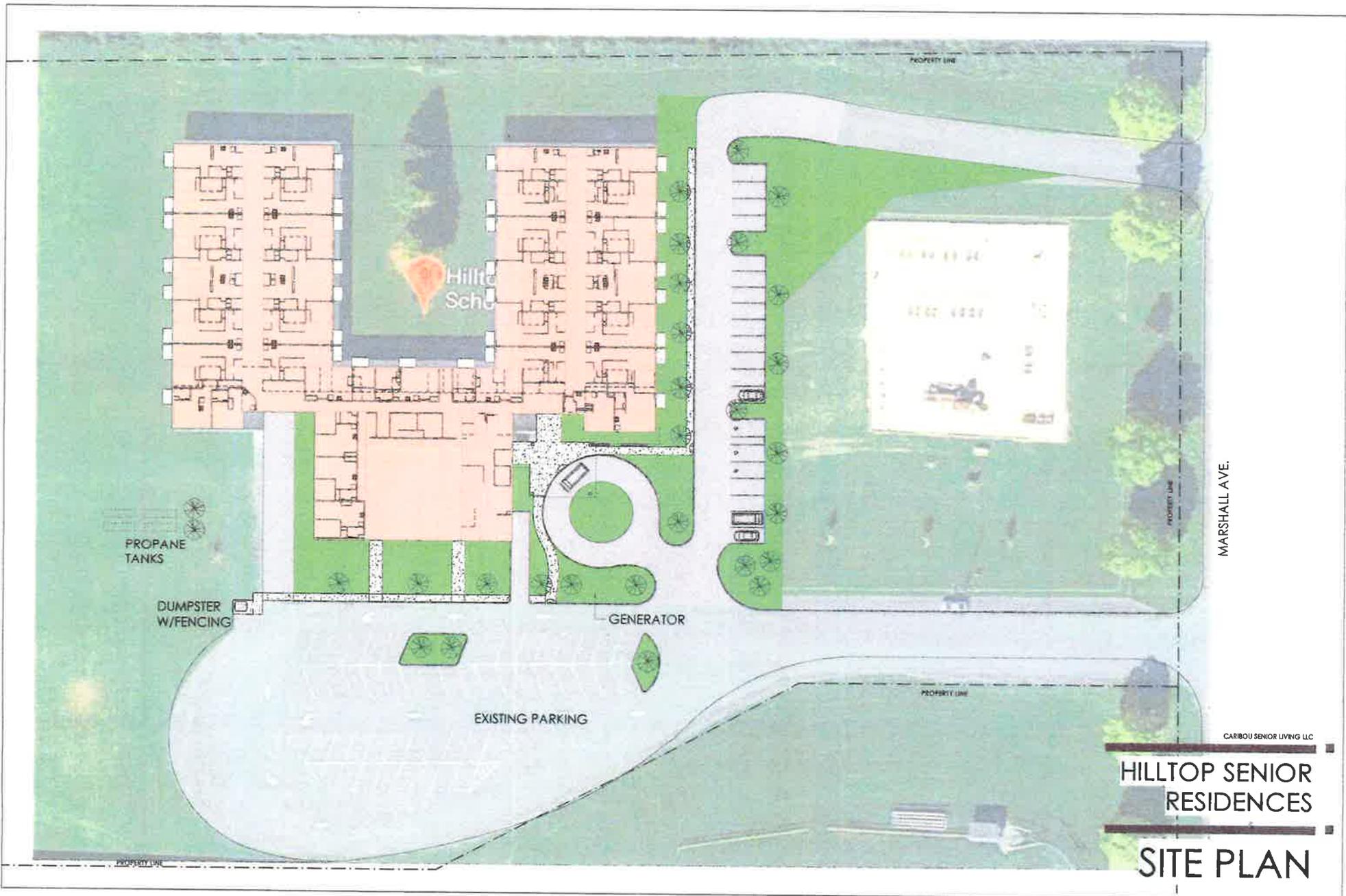
Assume anything built prior to 1978 contains lead paint. Airborne lead from burning lead-based paint can pose a health hazard. Ash resulting from burning wood coated in lead paint may contain harmful levels of lead. We recommend disposing of ash at a licensed solid waste facility (landfill).

Is there a protected resource (i.e. stream, lake, ocean) nearby?

Steps must be taken to prevent runoff from the burn pile from contaminating nearby waterbodies, such as installing a silt fence or other erosion barrier between the protected resource and the burn pile.

Have you obtained an open burning permit?

Burning on-site for disposal of wood wastes from CDD requires a permit from the Town Forest Fire Warden, Forest Ranger, or local fire prevention official. It is a Class E crime to burn without a permit.



PROPANE TANKS

DUMPSTER W/FENCING

EXISTING PARKING

GENERATOR

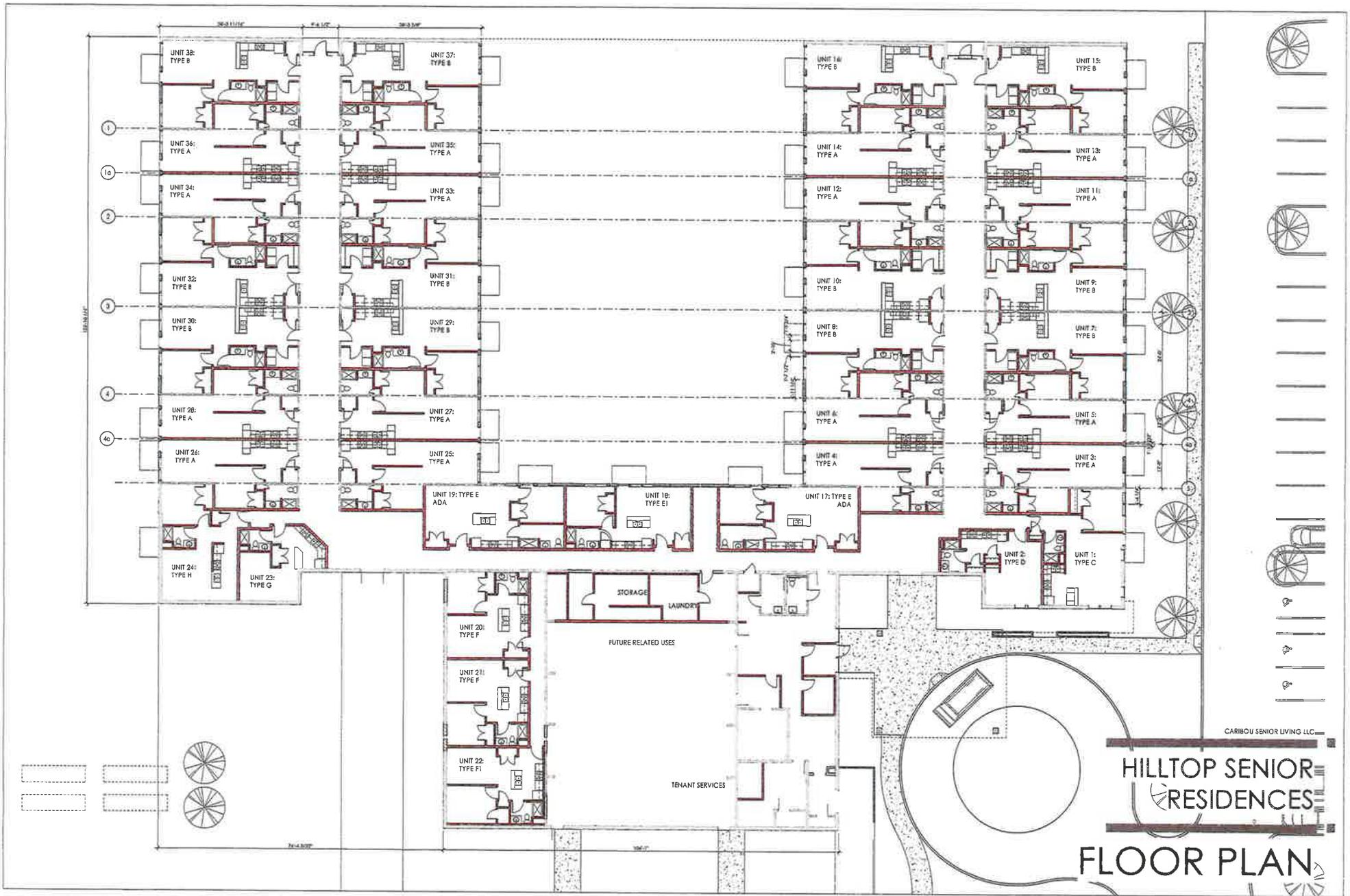
Hilltop School

MARSHALL AVE.

CARBOU SENIOR LIVING LLC

HILLTOP SENIOR RESIDENCES

SITE PLAN



CARIBOU SENIOR LIVING LLC
HILLTOP SENIOR RESIDENCES
FLOOR PLAN



CARBON SENIOR LIVING LLC

HILLTOP SENIOR
RESIDENCES

SKETCH



City of Caribou Use Permit Application

Planning & Code Enforcement
25 High St.
Caribou, Maine 04736
(207) 493-3324 X 214
kmurchison@cariboumaine.org

Public Hearing Notification fee \$90.00

Date Received: 11-16-2018

If Planning Board approval is required for your requested use, please be aware that the Board meets on the second Thursday of each month. Your application must be received in the Code Enforcement Office at least 15 business days in advance of the meeting in order to meet notification requirements. Please provide a dimensional site plan of your property showing the location of all buildings, parking and access from the public way.

Owner of Property: Derrell Richardson Phone: 207-768-0292

Mailing Address: 9 Bog Road → sole proprietor
Caribou, Maine 04736

Location of Property: 9 Bog Road (accessory structure)

Tax Map: 15 Lot Number: 51-B Zone: R-3

Requested Use: Owner Operated personal service
business (medical marijuana caregiver)
with waiting area, confidential office
space and product storage.

Signature of Applicant: 

Date: 11/16/2018

Chapter 432 – LD 1091 (Effective July 4, 2018)

An Act to Implement Certain Recommendations of the Criminal Law Advisory Commission Relative to the Maine Criminal Code and Related Statutes

Among other provisions, this enacted law:

Amends Title 17-A, section 505, subsection 2 by adding to the definition of "public way" the words "a way upon which the public has access as invitees or licensees."

Amends Title 17-A, section 1101 by enacting definitions of "cocaine" and "heroin." The definition of "cocaine" mirrors that currently found in Title 17-A, section 1102, subsection 1, paragraph F. The definition of "heroin" as "any compound, mixture or preparation containing heroin (diacetylmorphine) in any quantity" is in response to *State v. Pinkham, Sr.*, 2016 ME 59, 137 A. 3d 203.

Amends Title 30-A, section 3821, subsection 3, to clarify that hotel and lodging house registers must be kept for two years and must be available for inspection by an agent of the authority that licenses the hotel or lodging house.

Amends Title 34-A, section 1216, subsection 1, paragraph D to clarify that dissemination of certain information pertaining to a person receiving services from the Department of Corrections may be made to any criminal justice agency if necessary to carry out the administration of criminal justice or administration of juvenile criminal justice.

http://legislature.maine.gov/legis/bills/bills_128th/chapters/PUBLIC432.asp

Chapter 447 – LD 238 (Effective July 9, 2018)

An Act to Amend the Maine Medical Use of Marijuana Act

Allows a facility that tests medical marijuana samples for the cannabinoid profile, potency, and contaminants to operate in the absence of rules adopted by the Department of Health and Human Services if the facility has obtained documentation of the facility's accreditation pursuant to standard ISO/IEC 17025 of the International Organization for Standardization by a 3rd-party accrediting body.

Clarifies that qualifying patients, primary caregivers, and registered dispensaries may manufacture marijuana products from harvested marijuana, including production of marijuana concentrate by processes of marijuana extraction that do not involve certain inherently hazardous substances.

Establishes a process for persons or entities that are not qualifying patients, primary caregivers, or registered dispensaries to manufacture marijuana products from harvested marijuana, including marijuana concentrate by processes of marijuana extraction that do not involve certain inherently hazardous substances, to become registered to manufacture marijuana products.

Establishes a method for qualifying patients, primary caregivers, and registered dispensaries to become authorized by law to produce marijuana concentrate by processes involving inherently hazardous substances if certain safety and compliance standards are met.

Establishes a process for persons or entities that are not qualifying patients, registered caregivers, or registered dispensaries to become authorized to produce marijuana concentrate by processes involving inherently hazardous substances.

Repeals specific provisions of law regarding municipal authority to establish a moratorium on registered primary caregivers near schools and municipal authority to regulate dispensaries. This, instead, enacts a new provision of law that allows municipalities to regulate registered primary caregivers, registered dispensaries, marijuana testing facilities and marijuana manufacturing facilities, except that municipalities are not allowed to prohibit or limit the number of registered primary caregivers.

http://legislature.maine.gov/legis/bills/bills_128th/chapters/PUBLIC447.asp

Chapter 452 – LD 1539

An Act to Amend Maine's Medical Marijuana Law

Eliminates the list of debilitating medical conditions for which a medical provider may provide a written certification and instead allows a medical provider to certify use to patients who have a medical diagnosis that may be alleviated by the therapeutic or palliative use of marijuana;

Eliminates the requirement that qualifying patients designate a primary caregiver or dispensary as the sole provider of cultivation services or medical marijuana;

Increases the possession limit in law for qualifying patients and unregistered caregivers from 2.5 ounces to 8 pounds, which was the amount previously authorized in rules adopted by the Department of Health and Human Services;

Increases the possession limit for registered caregivers and dispensaries from an amount based on the number of patients who have designated the registered caregiver or dispensary to the amount that the registered caregiver or dispensary cultivated or otherwise lawfully acquired;

Allows registered caregivers and dispensaries to sell up to 30% of the marijuana the registered caregiver or dispensary cultivated to another registered caregiver or dispensary in wholesale transactions;

Authorizes qualifying patients, caregivers, and dispensaries to manufacture marijuana products if certain substances that are considered hazardous are not used;

Authorizes qualifying patients, caregivers, and dispensaries to produce marijuana concentrate using substances that are considered hazardous if certain safety and inspection requirements are met;

Establishes a registration process for persons and entities that are not qualifying patients, caregivers, or dispensaries to manufacture marijuana products and to engage in marijuana extraction using substances that are considered hazardous if certain safety and inspection requirements are met;

Expands the authorization of a qualifying patient to use medical marijuana in certain assisted living and residential care facilities, in addition to hospice and nursing facilities, if that use is consistent with the facility's policy;

Allows medical marijuana testing facilities to operate in the absence of rules adopted by the Department of Health and Human Services if the facilities meet certain standards;

Establishes packaging, labeling, and marketing requirements for the sale of medical marijuana;

Requires registered caregivers, dispensaries, marijuana testing facilities and manufacturing facilities to track marijuana within the medical marijuana program from seeds to final user;

Requires registered caregivers, dispensaries, marijuana testing facilities and manufacturing facilities to maintain books and records and allows the Department of Health and Human Services to inspect those books and records;

Establishes additional authority for the Department of Health and Human Services to oversee medical marijuana-related activities, including the authority to inspect registered caregiver operations, dispensaries, marijuana testing facilities and manufacturing facilities during regular business hours or hours of apparent activity without notice, except that the department may not enter the dwelling unit of a registered caregiver to undertake an inspection if the caregiver is not present;

Requires that records containing patient information be kept in a manner that does not allow identification of the patient or be kept confidential;

Directs the Department of Health and Human Services to issue 6 registration certificates to dispensaries, in addition to the 8 dispensaries existing on April 1, 2018, to different entities, except that an existing dispensary may be awarded one additional registration certificate if its application is approved by the department;

Prohibits the Department of Health and Human Services from limiting the number of dispensary registration certificates issued after January 1, 2021;

Removes the requirement in current law that a dispensary must operate as a nonprofit business entity;

Clarifies that municipalities may regulate registered caregivers, registered dispensaries, medical marijuana manufacturing facilities and marijuana testing facilities, except that municipalities may not prohibit or limit the number of registered caregivers; and

Establishes a grant program to support objective scientific research funded by revenue from the Medical Use of Marijuana Fund and requires the Department of Health and Human Services to adopt rules to implement the grant program by March 1, 2019.

http://legislature.maine.gov/legis/bills/bills_128th/chapters/PUBLIC452.asp