



*City of Caribou, Maine*

*Municipal Building  
25 High Street  
Caribou, ME 04736  
Telephone (207) 493-3324  
Fax (207) 498-3954*

**AGENDA  
Caribou Planning Board  
Regular Meeting  
Thursday, February 14, 2019 at 5:30 p.m.  
City Council Chambers**

[www.cariboumaine.org](http://www.cariboumaine.org)

- I. Call Meeting to Order
- II. Approval of minutes from the January 10, 2019 Planning Board meeting. Pgs 2-4
- III. Public Hearing
  - a. Use Permit application from Derrell Richardson, d/b/a Richardson Remedies for a Retail Glassware Shop at 9 Bog Road, Tax Map 15, Lot 51-B. Pgs 5-7
  - b. Home Occupation application from Sonia Godin, d/b/a Serenity Beauty Spa for a Salon at 11 Summer Street, Tax Map 32, Lot 157. Pgs 8-17
- IV. New Business
  - a. Continue review of a Site Design Review application for Dunkin Brands, Inc. Pgs 18-45
  - b. Site Design Review for Caribou Senior Living, LLC.
- V. New Communications
  - a. Consider Building Permit for Dunkin Brands, Inc.
  - b. Inquiry of ongoing animal cruelty and abuse at Belanger Road address.
- VI. Staff Report
  - a. Updates from Code Enforcement Officer/Zoning Administrator.
  - b. Flood Plain Ordinance (redline copy). Pgs 46-66
  - c. Update on Moratorium concerning owner operated personal services businesses related to a Medical Marijuana Caregiver status.
  - d. Chapter 13, Zoning of Caribou Code (redline copy, parking spaces by land use, and Official Zoning Map).
- VII. Planning Board Training
- VIII. 2019 Planning Board Goals
- IX. Other Business
- X. Adjournment



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### **Caribou Planning Board Meeting Minutes Thursday, January 10, 2019 @ 5:30 pm City Council Chambers**

**Members Present:** Robert White, Phil Cyr, Evan Graves, Philip McDonough III, Todd Pelletier and Dan Bagley

**Others Present:** Ken Murchison –CEO & Zoning Administrator, Denise Lausier –Executive Assistant to the City Manager, Derrell Richardson, Gloria Boykin, Darrell Theriault, Zachary Wright, Mariah Mink, Aaron Cray and Jennifer Kiandros

- I. **Call Meeting to Order** –The meeting was called to order at 5:30 pm.
- II. **Welcome New Board Members** – Chairman Robert White welcomed Dan Bagley to the Board.
- III. **Election of Officers for 2019** – Phil Cyr moved that the officers remain as they are; seconded by Philip McDonough III. Motion carried with all in favor.
  - a. **Chairman** – Robert White
  - b. **Vice-Chairman** – Phil Cyr
  - c. **Secretary** – Philip McDonough III
- IV. **Setting Meeting Dates/Times for 2019** – Philip McDonough III moved to keep the meeting dates and times the second Thursday of every month at 5:30 pm; seconded by Phil Cyr. Motion carried with all in favor.
- V. **Approval of minutes from the December 13, 2018 Planning Board meeting** – Phil Cyr moved to accept the minutes as presented; seconded by Todd Pelletier. Motion carried with all in favor.
- VI. **New Business** –
  - a. **Continue review of a Site Design Review application for Dunkin Brands, Inc.** -
  - b. **Site Design Review for Caribou Senior Living, LLC** – CEO Ken Murchison has not heard from either Dunkin Brands or Caribou Senior Living. Waiting on plans, no action needed.
  - c. **Flood Plain Ordinance** – CEO Ken Murchison told the Board this Flood Plain Ordinance was shared by the State and he recommends to adopt it as delivered. Will need to send it to the City Council separately from the Chapter 13 re-write to get it on the books. The State is waiting on us. Philip McDonough III moved to send the Flood Plain Ordinance based on State regulations to the City Council; seconded by Todd Pelletier. Motion carried with all in favor.

## VII. New Communications –

- a. **Notice of Violation for odor issues related to Medical Marijuana Grow Facility at 9 Bog Road.** – CEO Ken Murchison received a formal complaint on the odor at 9 Bog Road. A Notice of Violation has gone out to Derrell Richardson. He will have 30 days to fix the issue.
- b. **Ongoing Notice of Violation for Lighting Ordinance at 46 Coolidge Avenue.** – CEO Ken Murchison sent out a Notice of Violation on a light at 46 Coolidge Avenue. The light is lighting up the neighbor's yard on Pioneer Avenue. The Police Department has been out there on three occasions. Keeping an eye on it. Remedy is to move the light or change the direction of the light. This has been ongoing since November.
- c. **Home Occupation Application for Sonia Godin Salon.** – CEO Ken Murchison explained that she had a beauty salon on Route 89 years ago. She left the area and has returned. The Board will have a public hearing at the next meeting. Dan Bagley stated that the application was incomplete and that should be communicated to her.

## VIII. Staff Report.

- a. **Updates from Code Enforcement Officer/Zoning Administrator** – CEO Ken Murchison has been working on demo permits. The Sincock building and the Learning Center need to come down. Just waiting on a final walk through at the Learning Center. 25 Liberty Street needs to come down as well. Ken has completed 2018 trainings. Ken had his evaluation and that went well. Working on 2019 round of CDBG grants.
- b. **Update on Moratorium concerning owner operated personal services businesses related to a Medical Marijuana Caregiver status.** – Moratorium went to City Council on Monday. This will stop medical marijuana caregiver businesses from starting until we have time to put together an ordinance as far as zoning and land use. The moratorium will give us 90 days to review, it could take up to a half a year to sort things out. The registered medical marijuana caregivers in the community are doing business according to the State. At 9 Bog Road, there are several land uses, cultivation, caregiver business and potentially multi family housing. Under review for retail glassware, will review the permit to see if complete and will bring it back next month.

Chairman Robert White opened the floor up for public comments.

Darrell Theriault asked the Board why we can't do like Canada is doing and just use their laws for here. Philip McDonough III explained that it is prohibited by Federal law here in the U.S. CEO Ken Murchison explained there is no guidance for this level of government, it's happening at the State level and that he would need to talk to delegation.

Derrell Richardson stated that he didn't receive the Notice of Violation. CEO Ken Murchison told Mr. Richardson that he would hand deliver it to him.

Jennifer Kiandros apologized if they are in violation and stated they are willing to fix the issue. Ms. Kiandros asked if there are guidelines or regulations to go by. CEO Ken Murchison explained that the Notice of Violation mentions best practices and that perhaps an air handling system would help.

Todd Pelletier stated that it smells every time he goes by especially when it's cold out, it seems to hover over the area.

Gloria Boykin stated that she has been here a year, she has breast cancer and has been through treatments. She spoke of how the medical marijuana has helped her and she has not had nausea through treatments. She was given prescriptions from the doctor for side effects and instead she used the medical marijuana, it has helped her tremendously.

Chairman Robert White stated that the Board was not operating from a standpoint to get rid of the business. Co-Chairman Phil Cyr explained that the Board does what they can to help neighbors get along with neighbors. They have ordinances to try and keep peace in neighborhoods, that is their function. The Planning Board is pro-business. They have had complaints on odors, so they have had to look into it. Eliminating the odors is a big step to bring harmony to the neighborhood.

- IX. Planning Board Training** – CEO Ken Murchison told the Board that Jay Kamm from NMDC will be doing a training with them on Planning Board officials.
- X. 2019 Planning Board Goals** – Finish Chapter 13, Zoning of City Code to send to City Council. CEO Ken Murchison suggested the Board hold a workshop to finish up with revisions. Some other goals set by the Board is to do a review of the Comprehensive Plan, review Home Occupations and to look at potential riverfront development.
- VIII. Continue work on Chapter 13, Zoning of Caribou Code.** – Board set a workshop time of Thursday, January 24, 2019 @ 5:30 pm in Council Chambers to finish up revisions to Chapter 13, Zoning of City Code.
- IX. Other Business** – None.
- X. Adjournment** – Meeting adjourned at 6:27 pm.

Respectfully Submitted,

Philip McDonough III  
Planning Board Secretary

PM/dl

## Code Enforcement - Inspections

### Permit Fee Payments at front counter - first floor.

Date: Nov 16, 2018

Customer Name: Derrell Richardson

	\$
13 - Building Permit: Flat \$50 fee	_____
14 - Plumbing permit: 75% Caribou	_____
25% State	_____
Shellfish Surcharge: \$15.00 (full system – external only)	_____
53 – Zoning Document fee:	_____
54 – Site Design Application: \$90 + \$10 / 2000 sq ft <i>Use Permit Application</i>	<u>90.00</u>
55 – Board of Appeals Application:	_____
56 – Certificate of Occupancy: \$25.00	_____
57 – Demolition Permit: \$25.00 – waived if received in advance	_____
58 – Sign Permit: \$50.00 per sign X _____ =	_____
59 – Subdivision Application: \$180 (first three) + \$10/each add'l	_____
61 – Heating Equip. Installation Permit: \$20.00 each X _____ =	_____
62 – Misc. Inspection Service: \$40.00 each X _____ =	_____

TOTAL: \$ 90.00

Plumbing Inspections: Please call Steve Wentworth, LPI 551-1007

Building Inspections: Please call Tony 493-5966

Planning Board agenda items: Please call Ken 493-5967

Cash : 20.00

Remainder Balance: 0.00

Paid to: DERRICK RICHARDSON

Total: 20.00

20.00

SITE DESIGN FEE

SITE DESIGN REVIEW

TYPE-----

AMOUNT

11/16/18 2:52 PM ID:JRE

#16652-1

\*\*\* REPRINT \*\*\*

----- RECEIPT -----  
City of Caribou



## City of Caribou Use Permit Application

Planning & Code Enforcement  
25 High St.  
Caribou, Maine 04736  
(207) 493 - 3324 X 214  
kmurchison@cariboumaine.org

**Public Hearing Notification fee \$90.00**

**Date Received:** 11-16-2018

If Planning Board approval is required for your requested use, please be aware that the Board meets on the second Thursday of each month. Your application must be received in the Code Enforcement Office at least 15 business days in advance of the meeting in order to meet notification requirements. Please provide a dimensional site plan of your property showing the location of all buildings, parking and access from the public way.

**Owner of Property:** Derrell Richardson **Phone:** 207-768-0292

**Mailing Address:** 9 Bog Road  
Caribou, Maine  
04736  
↘ business name:  
"Richardson Remedies"

**Location of Property:** 9 Bog Road

**Tax Map:** 15 **Lot Number:** 51-B **Zone:** R-3

**Requested Use:** Retail use 12' x 20' space, co-located  
with personal service business. Will  
have a separate entrance door from  
outside. Items for sale = glassware

**Signature of Applicant:**  **Date:** 11-16-2018

## Code Enforcement - Inspections

### Permit Fee Payments at front counter - first floor.

Date: 01/04/2019

Customer Name: Sonia Godin

13 - Building Permit: <i>Home Occupation</i>	Flat \$50 fee	\$ <u>90.00</u>
14 - Plumbing permit:	75% Caribou	_____
	25% State	_____
Shellfish Surcharge: \$15.00 (full system – external only)		_____
53 – Zoning Document fee:		_____
54 – Site Design Application: \$90 + \$10 / 2000 sq ft		_____
55 – Board of Appeals Application:		_____
56 – Certificate of Occupancy: \$25.00		_____
57 – Demolition Permit: \$25.00 – waived if received in advance		_____
58 – Sign Permit:	\$50.00 per sign X _____ =	_____
59 – Subdivision Application: \$180 (first three) + \$10/each add'l		_____
61 – Heating Equip. Installation Permit: \$20.00 each X _____ =		_____
62 – Misc. Inspection Service: \$40.00 each X _____ =		_____

TOTAL: \$ 90.00

Plumbing Inspections: Please call Steve Wentworth, LPI 551-1007

Building Inspections: Please call Tony 493-5966

Planning Board agenda items: Please call Ken 493-5967





# City of Caribou Home Occupation Application

Planning & Code Enforcement  
25 High St.  
Caribou, Maine 04736  
(207) 493-3324, X 214  
kmurchison@cariboumaine.org

**Note to Applicant:** Complete this application and return it with the required documents. In addition, the required fee must be returned along with this completed application. Make checks payable to: "City of Caribou", in the amount of \$90.00.

**Please print or type all information**

Name of Applicant: Sonia Godin  
Business Name: Serenity Beauty Spa  
Location of Property (Street Locations): 11 Summer Street  
City of Caribou Tax Map: 32 Lot: 157 Zone: R2

### Applicant Information

Person and address to which all correspondence regarding this application should be sent to:

Sonia Godin Phone: 207-227-9633

E-mail: Sonia.Levesque@outlook.com

Name of Land Surveyor, Engineer, Architect or other Design Professionals.  
(Attach list if needed, please write "N/A" if not applicable)

Phone: \_\_\_\_\_

Phone: \_\_\_\_\_

What legal interest does the applicant have in property to be developed (ownership, owner's representative, option, purchase & sales contract, etc?)

Leasing

(Attach supportive legal documentation)

Please describe business, including services offered and estimated impacts on traffic, noise, and environmental impacts

One person home base salon offering services in hair coloring and cutting, electrolysis, waxing, nail care and spray tanning.

General Information

Aroostook County Registry of Deeds: Book # 4243 Page # 138

What interest does the applicant have in any abutting property?

Is any portion of the property within 250 feet of the normal high water line of a lake, pond, river, or wetland or within 75 feet of any stream? ( ) Yes ( ) No

Is any portion of the property within a Flood Hazard Zone? ( ) Yes ( ) No

Total sq ft of residence: Total sq ft of residence to be developed:

Has this land been part of a subdivision in the past five years? ( ) Yes ( ) No

Indicate any restrictive covenants currently in the deed:

(Attach deed)

Anticipated start date for construction: / / Anticipated Completion: / /

Water Supply: Private Well: ( ) Public Water Supply: (✓)

Sewerage Disposal: Private SSWD: ( ) Public Sewer: (✓)

Estimated sewerage disposal gallons per day: ( / day)

- Does the building require plan review by the State Fire Marshal Office?  
(Attach Barrier Free and Construction Permits from SFMO)  Yes  No
- Have the plans been reviewed & approved by the Caribou Fire Chief?  Yes  No
- Does the building have an automatic sprinkler system?  Yes  No
- Does the building have an automatic fire detection system?  Yes  No

**Plan Review Criteria Checklist**

1.  A copy of the deed to the property, option to purchase the property, or other documentation to demonstrate right, title, or interest in the property on the part of the applicant.
2.  Names and addresses of all abutting landowners (from assessing office).
3.  Copy of tax card and tax map for property with zoning designation (from assessing office)
4.  1 complete set of plans, showing the following:
  - a. Graphic scale and north arrow.
  - b. Location and dimensions of any existing or proposed easements (from deed)
  - c. Size, shape, and location of existing and proposed buildings on the site including dimensions of the buildings and setbacks from property lines.
  - d. Access for Emergency Vehicles, location and layout design of vehicular parking, circulation areas, loading areas, and walkways including curb cuts, driveways, parking space and vehicle turn around areas.
  - e. Location and names of streets adjacent to the proposed development and rights-of-way (from deed).
  - f. Conceptual treatment of landscaping buffers, screens, and plantings.
  - g. Location of outdoor storage areas, fences, signage and accessory structures.
  - h. All proposed signage and exterior lighting including the location, size and wording of all signs and location and type of exterior lights.

**To the best of my knowledge, all of the information submitted in this application is true and correct.**

Signature of Applicant:         *Sonia Godin*         Date:         01/04/19

**Planning Board Requirements Checklist**

- \_\_\_\_\_ The home occupation shall only employ residents of the dwelling unit.
- \_\_\_\_\_ The home occupation shall be carried on entirely within the principle or accessory structure.
- \_\_\_\_\_ The home occupation shall not occupy more than 50% of the total floor area of the principle dwelling structure. Accessory structures used for the home occupation may use up to 100%.
- \_\_\_\_\_ No client or customer shall be allowed on any floor other than the first floor ground level unless the structure is protected throughout with a State Fire Marshal approved sprinkler system.
- \_\_\_\_\_ Objectionable noise, vibrations, smoke, dust, electrical disturbance, odors, heat, glare or other nuisances are not permitted.
- \_\_\_\_\_ No on-street parking is allowed for clients or customers.
- \_\_\_\_\_ All means of egress/ingress are consistent with NFPA Life Safety Code 101 and the Americans with Disabilities Act.

Home Occupation Application for: \_\_\_\_\_

Address: \_\_\_\_\_

**Approved by the Caribou Planning Board**

Date: \_\_\_\_/\_\_\_\_/\_\_\_\_

Signed:

\_\_\_\_\_  
Chairman, Caribou Planning Board

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Conditions of Approval:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- A. Fire hydrants connected to the public water supply system shall be located no further than 500 feet from any building.
- B. Hydrants or other provisions for drafting water shall be provided to the specifications of the Fire Department. Minimum pipe size connecting dry hydrants to ponds or storage vaults shall be six (6) inches.
- C. Where a dry hydrant or other water source is not within the right-of-way of a proposed or existing street, an easement to the City shall be provided to allow access. A suitable accessway to the hydrant or other water source shall be constructed.
- D. A proposed subdivision of 5-10 lots not served by a public water supply shall provide for a minimum storage capacity of 10,000 gallons. Additional storage capacity of 2,000 gallons per lot over 10 lots shall be provided. The Planning Board may require additional storage capacity upon a recommendation from the Fire Chief. Where ponds are proposed for water storage, the capacity of the pond shall be calculated based on the lowest water level less an equivalent of three (3) feet of ice.

**13. Home Occupations.**

Home occupations shall be incidental to the residential use of the property. No Home Occupation is allowed without first obtaining a Permit from the Code Enforcement & Planning Office. As of January 1, 2013 Home Occupation Site Design Review Applications shall have an initial fee of \$90.00.

Home occupations shall be allowed in any zone, and

All Home Occupations activity shall be restricted to within the interior of the primary or an accessory structure, and

There shall be no change in the outside appearance of the buildings or premise that shall cause the premise to differ from its residential character by use of colors, materials, construction, lighting, sounds, or noises. The Home Occupation shall be identified by no more than one free standing single or double sided yard sign or one sign on the building, no sign face to exceed two square feet in area, and

There shall be no exterior storage of materials, such as, but not limited to, trash and or any other materials used in the Home Occupation, and

The following requirements shall be satisfactorily demonstrated to the Planning Board before a permit is issued:

- 1. The home occupation shall employ only residents of the dwelling unit.
- 2. The home occupation shall be carried on wholly within the principal or accessory structure.
- 3. The home occupation shall not occupy more than 50% of the total floor area of the principal dwelling structure. Accessory structures used for the Home Occupation may use up to 100% of the floor area.
- 4. No client or customer shall be allowed on any floor level other than the first floor ground floor level unless the structure is protected throughout with a State Fire Marshal approved sprinkler system.
- 5. Objectionable noise, vibrations, smoke, dust, electrical disturbance, odors, heat, glare, or other nuisance shall not be permitted.
- 6. No on street parking is allowed for clients or customers.
- 7. All means of ingress and egress to and from all areas accessible to clients and customers shall be in full compliance with the requirements of the 2009 Edition of NFPA 101, Life Safety Code and the Americans with Disabilities Act.

Should all of the above conditions not be maintained on a continual basis once the permit has been issued, the Code Enforcement Officer shall rescind the permit and issue a cease and desist order to stop the non-conforming Home Occupation. Any Home Occupation operating without a current permit shall be prosecuted in District Court according to Title 30-A, MRSA §4452.

All other requirements of the Caribou Code of Ordinances apply to all Home Occupations.



**Caribou**

Map Lot 032-157

Account 4570

Location 11 SUMMER STREET

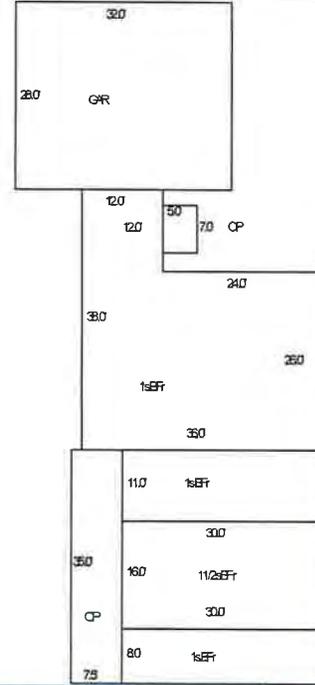
Card 1 Of 1 2/07/2019

Building Style <b>1 Conventional</b>	SF Bsmt Living <b>0</b>	Layout <b>1 Typical</b>
1.Conv. 5.Colonial 9.Condo	Fin Bsmt Grade <b>0 0</b>	1.Typical 4. 7.
2.Ranch 6.Split 10.Log	OPEN 5 OPTIONAL <b>0</b>	2.Inadeq 5. 8.
3.R Ranch 7.Contemp 11.Other	Heat Type <b>100% 1 Hot Water BB</b>	3. 6. 9.
4.Cape 8.Cottage 12.Gambrel	1.HWBB 5.FWA 9.No Heat	Attic <b>9 None</b>
Dwelling Units <b>1</b>	2.HWCI 6.GravWA 10.	1.1/4 Fin 4.Full Fin 7.
Other Units <b>0</b>	3.H Pump 7.Electric 11.	2.1/2 Fin 5.F/Stair 8.
Stories <b>4 One &amp; 1/2 Story</b>	4.Radiant 8.F/Wall 12.	3.3/4 Fin 6. 9.None
1.1 4.1.5 7.3.50	Cool Type <b>0% 9 None</b>	Insulation <b>1 Full</b>
2.2 5.1.75 8.4	1.Refrig 4.W&C Air 7.	1.Full 4.Minimal 7.
3.3 6.2.5 9.	2.Evapor 5. 8.	2.Heavy 5.Partial 8.
Exterior Walls <b>2 Vinyl</b>	3.H Pump 6. 9.None	3.Capped 6. 9.None
1.Wood 5.Shingles 9.Other	Kitchen Style <b>2 Typical</b>	Unfinished % <b>0%</b>
2.Vinyl 6.Brick 10.Alum	1.Modern 4.Obsolete 7.	Grade & Factor <b>3 Average 95%</b>
3.Compos. 7.Single 11.Log	2.Typical 5. 8.	1.E Grade 4.B Grade 7.AAA Grad
4.Asbestos 8.Concrete 12.Stone	3.Old Type 6. 9.None	2.D Grade 5.A Grade 8.MS Grade
Roof Surface <b>3 Sheet Metal</b>	Bath(s) Style <b>2 Typical Bath(s)</b>	3.C Grade 6.AA Grade 9.Same
1.Asphalt 4.Composit 7.	1.Modern 4.Obsolete 7.	SQFT (Footprint) <b>480</b>
2.Slate 5.Wood 8.	2.Typical 5. 8.	Condition <b>7 Very Good</b>
3.Metal 6.Rolled R 9.	3.Old Type 6. 9.None	1.Poor 4.Avg 7.V G
SF Masonry Trim <b>0</b>	# Rooms <b>0</b>	2.Fair 5.Avg+ 8.Exc
OPEN-3-CUSTOM <b>0</b>	# Bedrooms <b>5</b>	3.Avg- 6.Good 9.Same
OPEN-4-CUSTOM <b>0</b>	# Full Baths <b>2</b>	Phys. % Good <b>0%</b>
Year Built <b>1</b>	# Half Baths <b>0</b>	Funct. % Good <b>100%</b>
Year Remodeled <b>2007</b>	# Addn Fixtures <b>0</b>	Functional Code <b>9 None</b>
Foundation <b>1 Concrete</b>	# Fireplaces <b>0</b>	1.Incomp 4.Plb/Heat 7.
1.Concrete 4.Wood 7.ICF	 <p><b>TRIO</b> Software A Division of Harris Computer Systems</p>	2.O-Built 5. 8.Frac Sha
2.C Block 5.Slab 8.		3.Style 6. 9.None
3.Br/Stone 6.Piers 9.		Econ. % Good <b>100%</b>
Basement <b>4 Full Basement</b>		Economic Code <b>None</b>
1.1/4 Bmt 4.Full Bmt 7.		0.None 3.No Power 7.
2.1/2 Bmt 5.Crawl Sp 8.		1.Location 4.Generate 8.
3.3/4 Bmt 6. 9.None		2.Encroach 9.None 9.
Bsmt Gar # Cars <b>0</b>		Entrance Code <b>1 Interior Inspect</b>
Wet Basement <b>1 Dry Basement</b>		1.Interior 4.Vacant 7.
1.Dry 4.Dirt 7.		2.Refusal 5.Estimate 8.Exist R
2.Damp 5. 8.	3.Informed 6.Hanger 9.	
3.Wet 6. 9.	Information Code <b>1 Owner</b>	
	1.Owner 4.Agent 7.Vacant	
	2.Relative 5.Estimate 8.Exist R	
	3.Tenant 6.Other 9.For Sale	

Date Inspected 10/13/2011

**Additions, Outbuildings & Improvements**

Type	Year	Units	Grade	Cond	Phys.	Funct.	Sound Value
7 1 Story Bsmt Fr	0	240	0 0	0	0 %	0 %	
7 1 Story Bsmt Fr	0	330	0 0	0	0 %	0 %	
21 Open Frame	2007	262	0 0	4	0 %	100 %	
7 1 Story Bsmt Fr	2007	1080	0 0	4	0 %	100 %	
21 Open Frame	2007	35	0 0	4	0 %	100 %	
23 Frame Garage	2007	896	3 105	4	0 %	100 %	
					%	%	
					%	%	
					%	%	
					%	%	



18

**Sonia Godin**

Serenity Beauty Spa

**Legend**

Feature 1

17

Google Earth

Washburn St.

90 ft



Summer St.

Jig

Antique Sign

REAR



# CITY OF CARIBOU

## BUILDING PERMIT APPLICATION

207-493-3324 ext. 3

**DATE APPLICATION RECEIVED:** \_\_\_\_\_  
 No permits will be issued prior to 3 working days from receipt of application.

### PROPERTY OWNER

Property Owner: Dunkin' Brands, Inc. (attn: Christopher Jesson)

Property Address: 43 Bennett Drive, Caribou, ME

Mailing Address: 130 Royall Street, Canton, MA 02021

Ph: \_\_\_\_\_ Cell: 339-222-6471

### CONTRACTOR(S)

General Contractor: PGR Construction (attn: Paul G. Rebelo)

Ph: 508-252-4218 Cell: \_\_\_\_\_

Excavating Contractor: going to bid

Ph: \_\_\_\_\_ Cell: \_\_\_\_\_

Foundation Contractor: going to bid

Ph: \_\_\_\_\_ Cell: \_\_\_\_\_

### PROJECT DESCRIPTION

Construction of a Dunkin' drive-thru restaurant

**All Public Buildings require State Fire Marshal's Approval.**  
 Please ask for a SFMO Permit Application.

### ESTIMATED COST OF PROJECT

\$600,000.00 +/-

### OFFICE USE ONLY

Permit Number: \_\_\_\_\_

Issue Date: \_\_\_\_\_

Fee: \$ \_\_\_\_\_

Approved By: \_\_\_\_\_

Map # 34 Lot # 103

Zone: C-2

### Setbacks:

10                      10                      10  
 Front                      Rear                      Sides

### Special Zones:

- Shoreland
- Flood Zone
- Wetland
- Wellhead Protection District

### BUILDING INFORMATION

#### Number of Stories:

0 Present  
1 Proposed  
1 Total

#### Height of Buildings:

0 Present  
22'-11" Proposed  
22'-11" Total

#### Number of Bathrooms:

	FULL	HALF
Present	<u>0</u>	
Proposed	<u>2</u>	
Total	<u>2</u>	

#### Number of Bedrooms:

\_\_\_\_\_ Present  
 \_\_\_\_\_ Proposed  
N/A Total

Present Septic System is approved for N/A Bedrooms

#### Type of Use (Check one)

- Year Round
- Seasonal

## Residential Site Plan:

Please indicate the following items on the site plan:

Exact position of all new construction and existing structures (including accessory structures).

- Setback distances from property lines to all structures (front, back, and sides)
- Location of well and septic system including distances from structures and property lines
- Area to be cleared of trees and other vegetation
- Any wetlands or water bodies and setback distances from shoreline if applicable

**Note:** For all projects in the shoreland zone involving filling, grading or other soil disturbance, you must provide a soil erosion control plan describing the measures to be taken to stabilize areas before, during, and after construction.

**Note:** The State of Maine has adopted the following codes and standards and has mandated that Caribou enforce these codes as well as all existing fire and life safety codes as of January 23, 2018:

2015 International Building Code  
2015 International Residential Code  
2009 International Energy Conservation Code  
2015 International Existing Building Code  
2013 ASHRAE 62.1, Commercial Ventilation Standard  
2013 ASHRAE 62.2, Residential Ventilation Standard  
2013 ASHRAE 90.1, Commercial Energy Standard  
2008 ASTM E 1465, Radon Code

## Building Plans:

**Note:** All new construction of both Residential and Commercial structures now requires a complete set of Building Plans and Energy Conservation Detail Plans.

Floor Plan & Elevations  
Complete Foundation  
Radon Collection System  
Complete Framing for Floors, Walls, Roof System, Stairways & Decks  
Energy Conservation Detail for Basement Slab, Walls, Ceiling, Windows & Doors,

**Note:** All new construction of Commercial & Residential structures now require a complete set of Building Plans and Energy Conservation Detail Plan. Commercial building plans must be stamped by a Maine Licensed Professional Engineer or Architect. COMcheck Compliance Certificate is required for commercial projects. REScheck Compliance Certificate is required for residential construction.

**Note:** Storage and similar small buildings of 120 square feet or less do not require building permits.



## ADDITIONAL PERMITS, APPROVALS, AND INSPECTIONS REQUIRED

<input checked="" type="checkbox"/> Plumbing Permit	<input type="checkbox"/> Swimming Pool Permit	<input type="checkbox"/> Fire Marshall's Office
<input checked="" type="checkbox"/> Electrical Permit	<input checked="" type="checkbox"/> Sign Permit	<input checked="" type="checkbox"/> MDOT
<input type="checkbox"/> Septic/HHE200 Permit	<input type="checkbox"/> Culvert (Public Works)	<input type="checkbox"/> DEP
<input type="checkbox"/> Septic Variance	<input type="checkbox"/> Curb Cut (Public Works)	<input type="checkbox"/> EPA
<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Road Opening (Public Works)	<input type="checkbox"/> ARMY Corp of Engineers
<input type="checkbox"/> Board of Appeals	<input type="checkbox"/> Shoreland	<input type="checkbox"/> Wetland

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## OFFICE USE ONLY

This application is

**APPROVED**

The following conditions are prescribed:

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**DENIED**

Reason for denial:

---



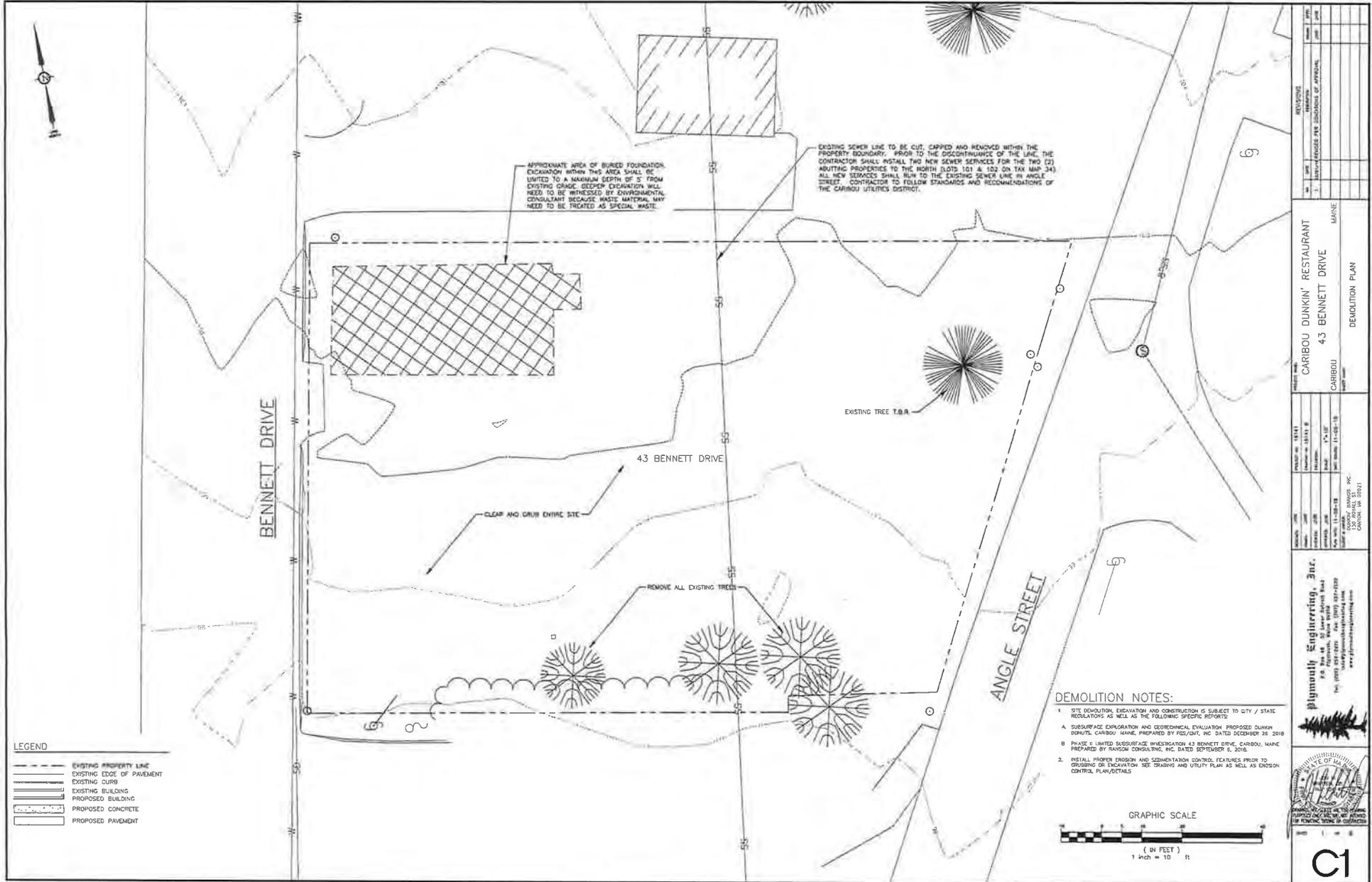
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\_\_\_\_\_  
Building Official

\_\_\_\_\_  
Date

### SCHEDULE OF INSPECTIONS

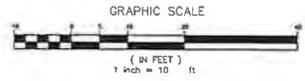
INSPECTION	DATE	INSPECTOR	INSPECTION NOTES
<input type="checkbox"/> Footings	_____	_____	_____
<input type="checkbox"/> Foundation	_____	_____	_____
<input type="checkbox"/> Radon	_____	_____	_____
<input type="checkbox"/> Framing	_____	_____	_____
<input type="checkbox"/> Insulation	_____	_____	_____
<input type="checkbox"/> Plumbing	_____	_____	_____
<input type="checkbox"/> Electrical	_____	_____	_____
<input type="checkbox"/> Septic	_____	_____	_____
<input type="checkbox"/> Final Occupancy	_____	_____	_____
<input type="checkbox"/> _____	_____	_____	_____
<input type="checkbox"/> _____	_____	_____	_____



**LEGEND**

	EXISTING PROPERTY LINE
	EXISTING EDGE OF PAVEMENT
	EXISTING CURB
	EXISTING BUILDING
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED PAVEMENT

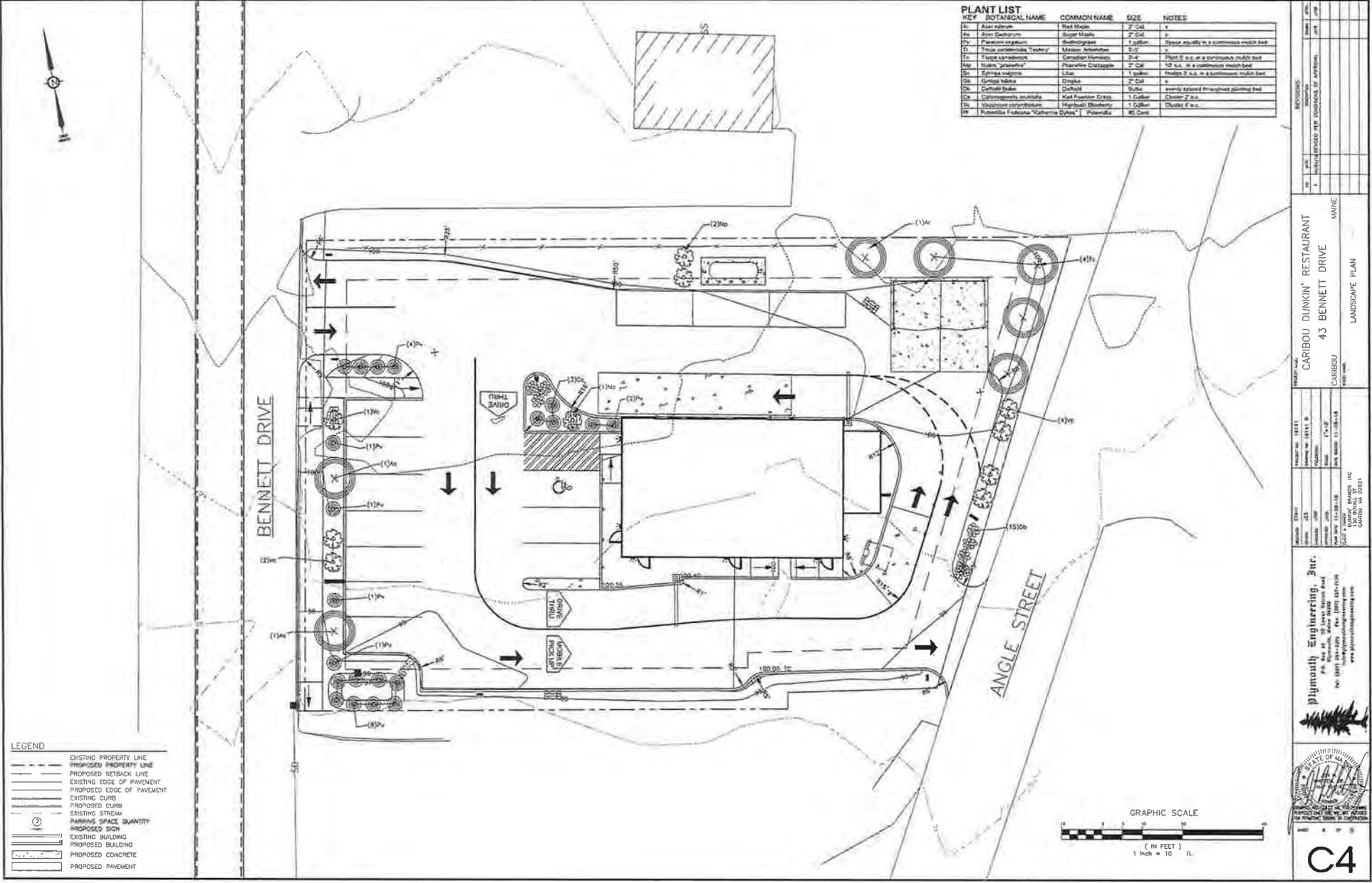
- DEMOLITION NOTES:**
1. SITE DEMOLITION, EXCAVATION AND CONSTRUCTION IS SUBJECT TO CITY / STATE REGULATIONS AS WELL AS THE FOLLOWING SPECIFIC REPORTS:
    - A. SUBSURFACE EXPLORATION AND GEOTECHNICAL EVALUATION PROPOSED DUNKIN' DONUTS, CARIBOU, MAINE, PREPARED BY FCS/CHT, INC. DATED DECEMBER 26, 2018
    - B. PHASE II LIMITED SUBSURFACE INVESTIGATION 43 BENNETT DRIVE, CARIBOU, MAINE, PREPARED BY RAYSON CONSULTING, INC. DATED SEPTEMBER 6, 2018.
  2. INSTALL PROPER EROSION AND SEDIMENTATION CONTROL FEATURES PRIOR TO GRUBBING OR EXCAVATION. SEE DRAWING AND UTILITY PLAN AS WELL AS EROSION CONTROL PLAN/DETAILS.



<p><b>REVISIONS</b></p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td></td> <td>ISSUED FOR SUBMISSION OF PERMITS</td> </tr> </tbody> </table>		NO.	DATE	DESCRIPTION	1		ISSUED FOR SUBMISSION OF PERMITS
NO.	DATE	DESCRIPTION					
1		ISSUED FOR SUBMISSION OF PERMITS					
<p><b>PROJECT INFO</b></p> <p>PROJECT NAME: CARIBOU DUNKIN' RESTAURANT          ADDRESS: 43 BENNETT DRIVE          CITY: CARIBOU          STATE: MAINE</p>							
<p><b>DATE</b></p> <p>DATE: 11-08-18          TIME: 11:00 AM          DRAWN BY: [Name]          CHECKED BY: [Name]          SCALE: AS SHOWN          PROJECT NO: 18-001          DRAWING NO: 18-001-01          PROJECT LOCATION: CARIBOU, ME 05211</p>							
<p><b>DESIGNER</b></p> <p><b>Plymouth Engineering, Inc.</b>          100 Elm Street          Plymouth, Maine 05239          Tel: (603) 892-2222          Fax: (603) 892-2222          www.plymouthengineering.com</p>							
<p><b>STATE OF MAINE</b></p> <p>REGISTERED PROFESSIONAL ENGINEER          LICENSE NO. 11000          EXPIRES 12/31/2021</p>							
<p><b>1</b></p>							







KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
11	Red maple	Red Maple	2' Cal	x
12	Super Maple	Super Maple	2' Cal	x
13	Black locust	Black Locust	2' Cal	x
14	Black locust	Black Locust	2' Cal	x
15	Black locust	Black Locust	2' Cal	x
16	Black locust	Black Locust	2' Cal	x
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98	Black locust	Black Locust	2' Cal	x
99	Black locust	Black Locust	2' Cal	x
100	Black locust	Black Locust	2' Cal	x

- LEGEND**
- EXISTING PROPERTY LINE
  - PROPOSED PROPERTY LINE
  - PROPOSED SETBACK LINE
  - EXISTING EDGE OF PAVEMENT
  - PROPOSED EDGE OF PAVEMENT
  - EXISTING CURB
  - PROPOSED CURB
  - EXISTING STREAM
  - PARKING SPACE QUANTITY
  - PROPOSED SIGN
  - EXISTING BUILDING
  - PROPOSED BUILDING
  - PROPOSED CONCRETE
  - PROPOSED PAVEMENT

**REVISIONS**

NO.	DATE	DESCRIPTION	BY	CHKD.
1		ISSUED FOR PERMITS		

**PROJECT INFORMATION**

PROJECT NAME: CARIBOU DUNKIN' RESTAURANT  
 ADDRESS: 43 BENNETT DRIVE  
 CITY: CARIBOU  
 STATE: MAINE

**DESIGNER INFORMATION**

DESIGNER: PLYMOUTH ENGINEERING, INC.  
 100 BENTLEY STREET  
 CARIBOU, MAINE 04701  
 TEL: (603) 234-2229 FAX: (603) 234-2138  
 WWW.PLYMOUTHENGINEERING.COM

**SCALE**

GRAPHIC SCALE  
 1 inch = 10 feet

**PROJECT NUMBER**

C4

**EROSION AND SEDIMENT CONTROL PLAN**

**General Notes:**  
 1. Erosion control measures shall be installed as detailed but not less than those shown on this plan. The contractor shall be responsible for the design and construction of all erosion control measures. The contractor shall be responsible for the design and construction of all erosion control measures. The contractor shall be responsible for the design and construction of all erosion control measures.

- G. Following seed bed preparation, bare areas, fill areas and back slopes shall be seeded at a rate of 3 lbs./1,000 sq. ft. With a mixture of 25% creeping red fescue, 65% tall fescue and 10% Kentucky bluegrass. 100% perennial ryegrass, 20% annual ryegrass and 20% white clover.
- H. Areas which cannot be seeded within the growing season shall be mulched for over-winter protection and the area should be seeded at the beginning of the growing season.

**Water Control - Flow:**  
 If an area is not stabilized with temporary or permanent measures by November 15, then the site must be protected with additional stabilization measures.

- A. Permanent stabilization consists of at least 90% vegetation pavement/gravel base or riprap.
- B. Do not expose slopes or leave slopes exposed over the winter or for any other extended time of work suspension unless fully protected with mulch.
- C. Apply hay mulch at twice the standard rate (150 lbs. Per 1,000 sq. ft.) The mulch must be thick enough such that the ground surface will not be visible and must be anchored.
- D. Use mulch and mulch netting or an erosion control mat (blanket or mat) on slopes greater than 3% or other areas exposed to direct wind.
- E. Install an erosion control blanket in all cross-ways (between and sides) with a slope greater than 3%.
- F. Saw the vegetation measures for more information on seeding dates and types.
- G. Water excavation and backfill shall be completed so that no more than 1 acre of the site is without stabilization of any one time.
- H. An area within 100 feet of a protected natural resource must be protected with a double row of sediment berms to be accomplished by grading and compacting the first phase up to final grading and seeding before starting the second phase and so on.

**Vegetated Wetland:** Upon final grading the disturbed areas shall be immediately seeded to permanent vegetation and mulched and not to be used as a road, walkway or driveway until the vegetation is established. Once soil is exposed for wetland vegetation it shall be immediately seeded and mulched. Vegetated wetland areas shall be established during the growing season (after September 15). If final seeding of wetlands is delayed past September 15, emergency provisions such as sod or riprap may be required to stabilize the channel. Wetlands should be fully established prior to directing runoff to them.

- I. Temporary mulch must be installed within 7 days of soil exposure or prior to any storm event but after every storm in areas within 100 feet from a protected natural resource.
- J. Areas that have been brought to final grade must be permanently mulched that same day.
- K. If snowfall is greater than 1 inch (fresh or cumulative) the snow shall be removed from the areas due to be seeded and mulched.
- L. Loam shall be free of frozen clumps before it is applied.
- M. All vegetated sites that have not been stabilized by November 1, or will be worked during the winter construction period, must be stabilized with an appropriate slope facing backed by an appropriate gravel bed or geotextile unless specifically noted from this standard by the department.

**Permanent Stabilization Defined:**  
 A. Seeded areas for seeded areas, permanent stabilization means a 90% cover of the disturbed area with mature healthy plants with no evidence of washing or sluffing of the topsoil.  
 B. Sodded areas for sodded areas permanent stabilization means the complete binding of the sod roots into the underlying soil with no slumping of the sod or die-off.  
 C. Permanent mulch for mulched areas, permanent stabilization means total coverage of the exposed area with an approved mulch material. Sodless sods may be used as much as permanent stabilization according to the approved application rates and limitations.  
 D. Riprap for areas stabilized with riprap, permanent stabilization means that slopes stabilized with riprap have an appropriate stability of a well-graded gravel or approved geotextile to prevent soil movement from behind the riprap. Slopes must be sized appropriately. It is recommended that angular stone be used.

- N. Temporary mulch must be installed within 7 days of soil exposure or prior to any storm event but after every storm in areas within 100 feet from a protected natural resource.
- O. Areas that have been brought to final grade must be permanently mulched that same day.
- P. If snowfall is greater than 1 inch (fresh or cumulative) the snow shall be removed from the areas due to be seeded and mulched.
- Q. Loam shall be free of frozen clumps before it is applied.
- R. All vegetated sites that have not been stabilized by November 1, or will be worked during the winter construction period, must be stabilized with an appropriate slope facing backed by an appropriate gravel bed or geotextile unless specifically noted from this standard by the department.

**Aggricultural Use:** For construction projects on land used for agricultural purposes (i.e. pipelines across crop land), permanent stabilization may be accomplished by restoring the disturbed land to agricultural use.

- S. Areas that have been brought to final grade must be permanently mulched that same day.
- T. If snowfall is greater than 1 inch (fresh or cumulative) the snow shall be removed from the areas due to be seeded and mulched.
- U. Loam shall be free of frozen clumps before it is applied.
- V. All vegetated sites that have not been stabilized by November 1, or will be worked during the winter construction period, must be stabilized with an appropriate slope facing backed by an appropriate gravel bed or geotextile unless specifically noted from this standard by the department.

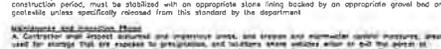
**Channel, channels, and swales:** For open channels, permanent stabilization means the channel is stabilized with mature vegetation or least two rows of sods, with well-graded riprap, or with another non-erodible facing capable of withstanding the anticipated flow velocities and flow depths without reliance on check dams to slow flow. There must be no evidence of slumping of the facing, undercutting of the banks or stream-couling of the channel.

- W. Temporary mulch must be installed within 7 days of soil exposure or prior to any storm event but after every storm in areas within 100 feet from a protected natural resource.
- X. Areas that have been brought to final grade must be permanently mulched that same day.
- Y. If snowfall is greater than 1 inch (fresh or cumulative) the snow shall be removed from the areas due to be seeded and mulched.
- Z. Loam shall be free of frozen clumps before it is applied.
- AA. All vegetated sites that have not been stabilized by November 1, or will be worked during the winter construction period, must be stabilized with an appropriate slope facing backed by an appropriate gravel bed or geotextile unless specifically noted from this standard by the department.

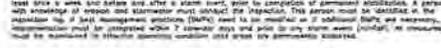
**General Construction - Phase:**  
 The following erosion control measures shall be followed by the contractor throughout construction of this project:

- 1. 1/2" HOT BITUMINOUS PAVING (8.5 mm SUPERPAVE)
- 2. 2" HOT BITUMINOUS PAVING (9.5 mm SUPERPAVE)
- 3. ADEQUATE BASE COURSE - CRUSHED (M.G.O.T. SPEC. 703.06 (6) TYPE A)
- 4. ADEQUATE SUBBASE COURSE - GRAVEL (M.G.O.T. SPEC. 703.06 (4) TYPE 3)

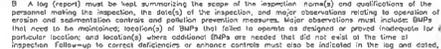
**PAVED PARKING LOT SECTION**  
 NOT TO SCALE



**CAST IN PLACE CONCRETE CURB**  
 NOT TO SCALE



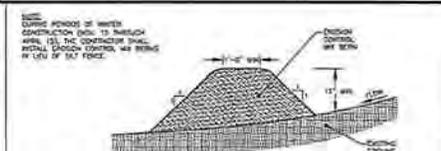
**TYPICAL UNDERGROUND CABLE INSTALLATION**  
 NOT TO SCALE



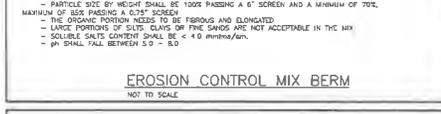
**TYPICAL PAVEMENT JOINT**  
 NOT TO SCALE



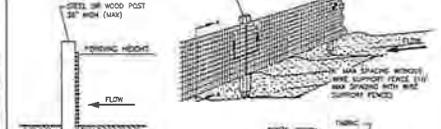
**TYPICAL TRENCH SECTION**  
 NOT TO SCALE



**EROSION CONTROL MIX BERM**  
 NOT TO SCALE



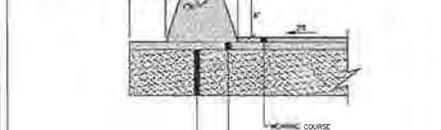
**CATCH BASIN EROSION CONTROL INSERT**  
 NOT TO SCALE



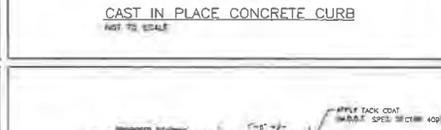
**SILT FENCE**  
 NOT TO SCALE



**CAST IN PLACE CONCRETE CURB**  
 NOT TO SCALE



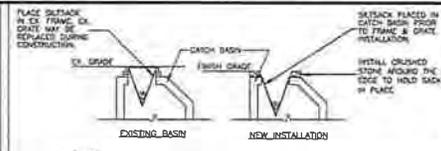
**DUMPSTER ENCLOSURE DETAIL**  
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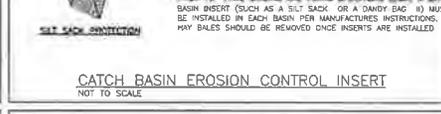
**TYPICAL PAVEMENT JOINT**  
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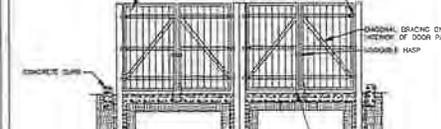
**TYPICAL TRENCH SECTION**  
 NOT TO SCALE



**SILT SACK INSTALLATION**



**CATCH BASIN EROSION CONTROL INSERT**  
 NOT TO SCALE



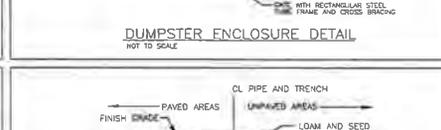
**SILT FENCE**  
 NOT TO SCALE



**CAST IN PLACE CONCRETE CURB**  
 NOT TO SCALE



**DUMPSTER ENCLOSURE DETAIL**  
 NOT TO SCALE



**TYPICAL PAVEMENT JOINT**  
 NOT TO SCALE



**TYPICAL TRENCH SECTION**  
 NOT TO SCALE

NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8	NO. 9	NO. 10

NO. 11	NO. 12	NO. 13	NO. 14	NO. 15	NO. 16	NO. 17	NO. 18	NO. 19	NO. 20

NO. 21	NO. 22	NO. 23	NO. 24	NO. 25	NO. 26	NO. 27	NO. 28	NO. 29	NO. 30

NO. 31	NO. 32	NO. 33	NO. 34	NO. 35	NO. 36	NO. 37	NO. 38	NO. 39	NO. 40

NO. 41	NO. 42	NO. 43	NO. 44	NO. 45	NO. 46	NO. 47	NO. 48	NO. 49	NO. 50

**C5**

26

CARBON DUNKIN' RESTAURANT  
 43 BENNETT DRIVE  
 CLAYTON, MA 02021

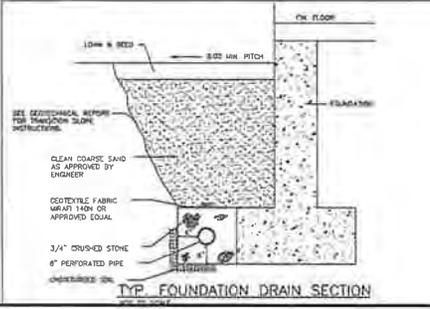
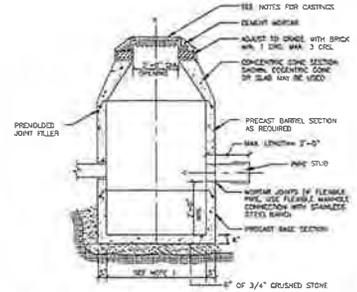
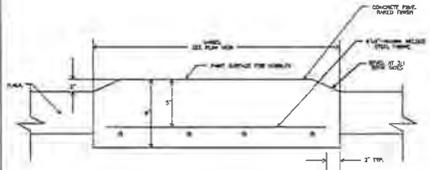
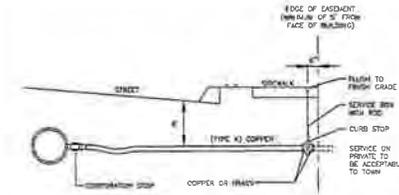
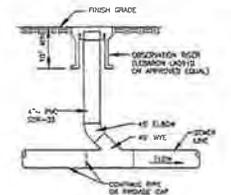
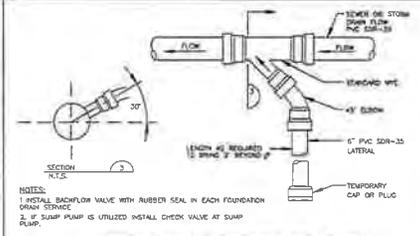
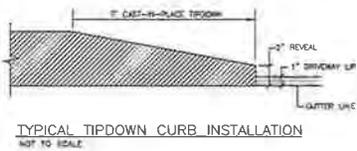
**Plymouth Engineering, Inc.**  
 100 State Street  
 Plymouth, MA 01960  
 Phone: (508) 833-1111  
 Fax: (508) 833-1112  
 www.plymoutheng.com

**STATE OF MASSACHUSETTS**  
 REGISTERED PROFESSIONAL ENGINEER  
 License No. 10000  
 License Expires 12/31/2024

**Professional Engineer Seal**  
 State of Massachusetts  
 License No. 10000  
 License Expires 12/31/2024

**CONSTRUCTION NOTES:**

- All work shall conform to the applicable codes and ordinances.
- Contractor shall site and familiarize him or herself with all conditions affecting the proposed work and shall make provisions as to the cost thereof. Contractor shall be responsible for furnishing him or herself with all contract documents and conditions and dimensions and confirm that the work may be accomplished as shown prior to proceeding with construction. Any discrepancies shall be brought to the attention of the engineer prior to the commencement of work.
- Contractor shall notify engineer of all products or items noted as "existing" which are not found in the field.
- Install all equipment and materials in accordance with manufacturer's recommendations and owner's requirements unless specifically otherwise indicated or where local codes or regulations take precedence.
- Contractor shall verify all dimensions and conditions in the field prior to fabrication and erection of any material. Any unusual conditions shall be reported to the attention of the engineer.
- Contractor shall clean and remove debris and sediment deposited on public streets sidewalks adjacent areas or other public ways due to construction.
- Contractor shall incorporate provisions as necessary in construction to protect existing structures, physical features and maintain site stability during construction. Contractor shall restore all areas to original condition and as dictated by design drawings.
- Site contractor shall obtain all required permits prior to construction.
- All erosion and sediment control measures shall be installed in accordance with "Noise Erosion and Sedimentation Control Handbook for Construction Best Management Practices" published by the Cumberland County Soil and Water Conservation District and Maine Department of Environmental Protection March 2004 or latest edition. It shall be the responsibility of the contractor to possess a copy of the erosion control plan of all sites.
- The contractor is hereby cautioned that all site features shown herein are based on field observations by the surveyor and by information provided by utility companies. The information is not to be relied on as being exact or complete. The contractor shall contact Dig Safe (1-800-486-8889) at least twice (2) but not more than thirty (30) days prior to commencement of excavation or operation to verify horizontal and vertical location of all utilities.
- Contractor shall take every care to dig safe any notices or "warning" stickers about the dig. When notified Dig Safe will advise contractor of manhole utilities in the area. Contractor is responsible for locating and contacting non-member utilities directly. Non-member utilities may include town or city water and sewer districts and some meter utilities, as well as other public water systems.
- Contractor shall be responsible for compliance with the requirements of 23 M.R.S. 3300-A. It shall be the responsibility of the contractor to coordinate with the appropriate utility to obtain authorization prior to relocation of any existing utilities which conflict with the proposed improvements shown on these plans. If a utility conflict arises, the contractor shall immediately notify the owner, the municipality and appropriate utility company prior to proceeding with any relocation.
- All government markings and directional signage shown on the plan shall conform to the Manual of Uniform Traffic Control Devices (MUTCD) standards.
- All pavement joints shall be sawcut prior to paving to provide a durable and uniform joint.
- No holes trenches or structures shall be left open overnight in any excavation accessible to the public or its public right-of-way.
- All work within the public right-of-way shall require a M.D.D.E. Permit, as well as permits from the town as applicable.
- The proposed limits of clearing shown herein are approximate based upon the proposed limits of site grading. The applicant reserves the right to perform normal forest management activities outside of the clearing limit as shown. Tree removal outside of the limits of clearing may be necessary to remove dead or dying trees or tree stumps. This removal is due to potential safety hazards and to promote proper forest growth.
- Immediately upon completion of utility/tie, the contractor shall stabilize disturbed areas in accordance with erosion control notes and as specified on plans.
- The contractor shall be fully and solely responsible for the removal and replacement of all damaged or defective material and workmanship in connection with the contract work. The contractor shall replace or repair as directed by the owner all such damaged or defective materials which appear within a period of one year from the date of substantial completion.
- All work performed by the general contractor and/or trade subcontractor shall conform to the requirements of local, state or federal laws, as well as any other governing requirements, whether or not specified on the drawings.
- Where the terms "approved equal", "other approved", "equal to", "acceptable" or other general qualifying terms are used in these notes it shall be understood that reference is made to the ruling and judgment of the owner and/or owner's engineer.
- The general contractor shall provide all necessary protection for the work until turned over to the owner.
- The general contractor shall maintain a current and complete set of construction drawings on site during all phases of construction for use of all trades.
- The contractor shall take full responsibility for any changes and deviation of approved plans not authorized by the architect/engineer and/or client/owner.
- Details are intended to show end result of design. Any modification to suit field dimension and condition shall be submitted to the engineer for review and approval prior to any work.
- Before the final acceptance of the project, the contractor shall remove all equipment and materials, repair or restore private or public property which may have been damaged or disturbed during construction, clean the areas within and adjacent to the project which have been obstructed by his/her operations and leave the project area neat and presentable.



DATE	DESCRIPTION

PROJECT NO. 18111  
 SHEET NO. 6 OF 8  
 PROJECT NAME: CARIBOU DUNKIN' RESTAURANT  
 ADDRESS: 43 BENNETT DRIVE  
 CITY: CARIBOU, MAINE

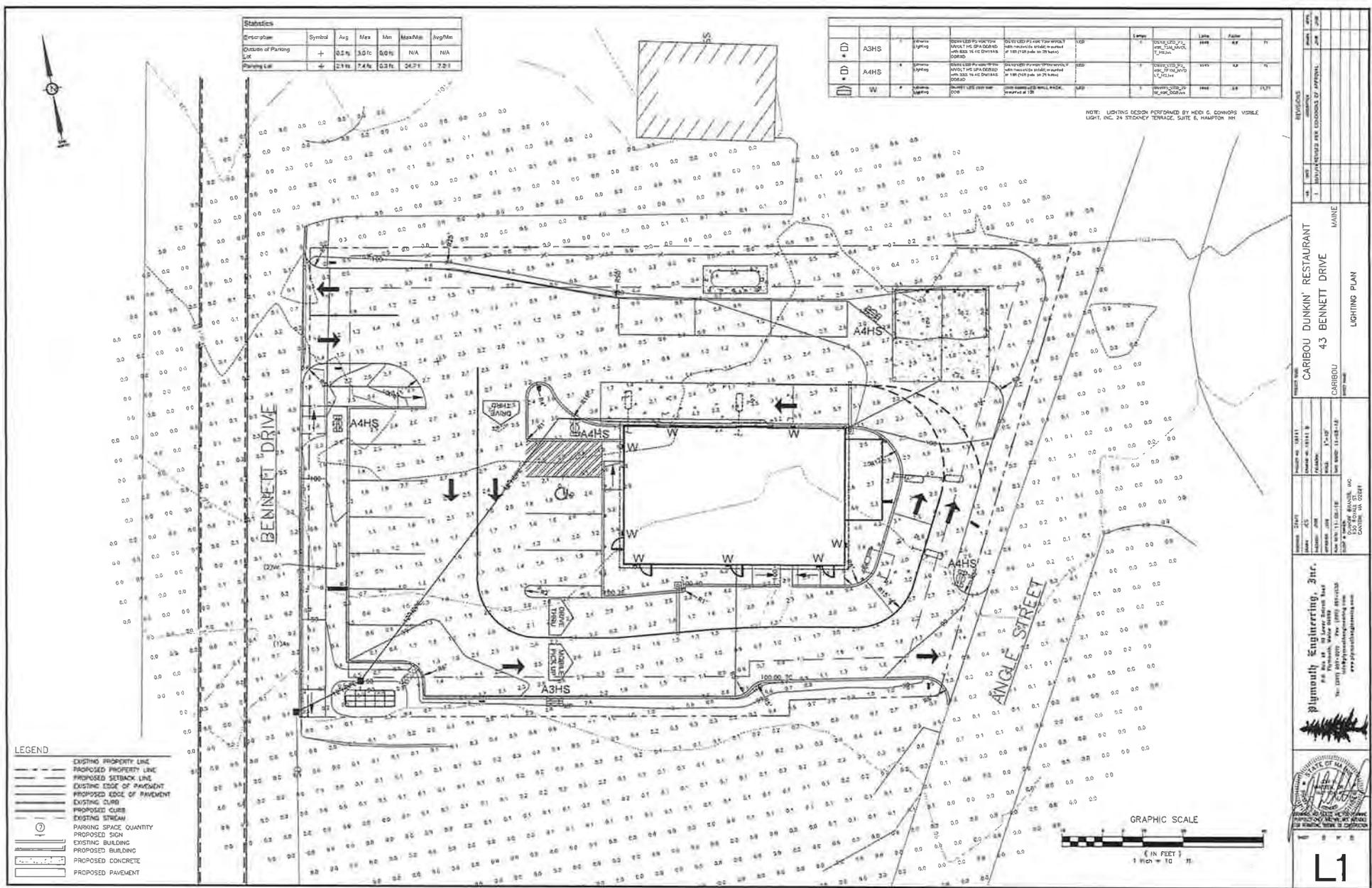
DESIGNED BY: J. B. BROWN  
 CHECKED BY: J. B. BROWN  
 DATE: 11-08-18

PREPARED BY: J. B. BROWN  
 DATE: 11-08-18

**Plymouth Engineering, Inc.**  
 100 Main Street  
 Caribou, ME 04736  
 Tel: 207-834-1111 Fax: 207-834-1112  
 www.plymouthengineering.com

STATE OF MAINE  
 PUBLIC NOTARY RECORD  
 J. B. BROWN  
 11-08-18  
 SHEET 6 OF 8  
**C6**





Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Outside of Parking Lot	+	0.5 fc	3.0 fc	0.0 fc	N/A	N/A
Parking Lot	-	2.1 fc	7.4 fc	0.3 fc	24.7 ft	7.2 ft

Symbol	Fixture	Height	Beam Angle	Foot-candle at Fixture	Foot-candle at Target	Beam Diameter at Target	Beam Diameter at Fixture	Beam Diameter at 100' (ft)	Beam Diameter at 20' (ft)	Beam Diameter at 30' (ft)
A3HS	Emergency Lighting	10'	120°	100 fc	0.1 fc	100'	100'	100'	100'	100'
A4HS	Emergency Lighting	10'	120°	100 fc	0.1 fc	100'	100'	100'	100'	100'
W	Emergency Lighting	10'	120°	100 fc	0.1 fc	100'	100'	100'	100'	100'

NOTE: LIGHTING DESIGN PERFORMED BY HEDI G. EDWARDS VISIBLE LIGHT, INC. 24 STONEY TERRACE, SUITE 6, HAMPTON NH

- LEGEND**
- EXISTING PROPERTY LINE
  - - - - PROPOSED PROPERTY LINE
  - - - - PROPOSED SETBACK LINE
  - ==== EXISTING EDGE OF PAVEMENT
  - ==== PROPOSED EDGE OF PAVEMENT
  - ==== EXISTING CURB
  - ==== PROPOSED CURB
  - ==== EXISTING STREAM
  - ==== PROPOSED SPACE QUANTITY
  - ==== PROPOSED SIGN
  - ==== EXISTING BUILDING
  - ==== PROPOSED BUILDING
  - ==== PROPOSED CONCRETE
  - ==== PROPOSED PAVEMENT

**CARIBOU DUNKIN' RESTAURANT**  
43 BENNETT DRIVE  
CARIBOU, MAINE

**LIGHTING PLAN**

**REVISIONS**

NO.	DATE	DESCRIPTION
1		REVISIONS AND CORRECTIONS OF ORIGINAL

**PROJECT DATA**

PROJECT NO. 18111  
DATE: 05/18/18  
PROJECT: Caribou Dunkin' Restaurant  
CLIENT: Caribou Dunkin' Restaurant  
SCALE: 1/4" = 1'-0"  
DRAWN: H. G. EDWARDS  
CHECKED: H. G. EDWARDS  
DATE: 05/18/18

**PLANNING ENGINEERING, INC.**  
1000 Park Road  
Plymouth, Maine 04150  
Tel: 1003-738-8888  
www.planningengineering.com

**STATE OF MAINE**  
PLANNING ENGINEERING, INC.  
LICENSE NO. 18111  
EXPIRES 05/31/2021

L1





# COMcheck Software Version 4.1.1.0

## Envelope Compliance Certificate

### Project Information

Energy Code: 90.1 (2007) Standard  
 Project Title: Dunkin' Donuts  
 Location: Caribou, Maine  
 Climate Zone: 7  
 Project Type: New Construction  
 Vertical Glazing / Wall Area: 19%

Construction Site:  
 43 Bennett Drive  
 Caribou, ME 04736

Owner/Agent:  
 Chris Jesson  
 130 Royall Street  
 Canton, MA 02021  
 (339) 222-6471  
 christopher.jesson@dunkinbrands.com

Designer/Contractor:  
 Oscar Ramirez  
 Aharonian & Associates, Inc. -  
 Architects  
 310 George Washington Hwy  
 Suite 100  
 Smithfield, RI 02917  
 401-232-5010  
 oramirez@arch-eng.com

### Building Area

### Floor Area

1-Dining: Cafeteria/Fast Food : Nonresidential	1870
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### Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U- Factor <sup>(*)</sup>
Roof 1: Insulation Entirely Above Deck, [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	1870	---	35.0	0.028	0.048
Floor 1: Slab-On-Grade:Unheated, Vertical 4 ft., [Bldg. Use 1 - Dining: Cafeteria/Fast Food] (c)	175	---	15.0	0.450	0.520
<b>NORTH</b>					
Exterior Wall 2: Wood-Framed, 16" o.c., [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	751	21.0	3.8	0.048	0.051
F4 D/T: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID PPG Glass, SHGC 0.32, [Bldg. Use 1 - Dining: Cafeteria/Fast Food] (b)	28	---	---	0.370	0.450
F4 Pick-up: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID PPG Glass, SHGC 0.32, [Bldg. Use 1 - Dining: Cafeteria/Fast Food] (b)	28	---	---	0.370	0.450
<b>EAST</b>					
Exterior Wall 3: Wood-Framed, 16" o.c., [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	499	21.0	3.8	0.048	0.051
<b>SOUTH</b>					
Exterior Wall 4: Wood-Framed, 16" o.c., [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	579	21.0	3.8	0.048	0.051
F2: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID PPG Glass, SHGC 0.32, [Bldg. Use 1 - Dining: Cafeteria/Fast Food] (b)	102	---	---	0.370	0.450
F3: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID	28	---	---	0.370	0.450

Project Title: Dunkin' Donuts  
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Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U- Factor <sup>(a)</sup>
PPG Glass, SHGC 0.32, [Bldg. Use 1 - Dining: Cafeteria/Fast Food] (b)					
Door 101: Glass (> 50% glazing):Metal Frame, Entrance Door, Perf. Specs.: Product ID na, SHGC 0.25, [Bldg. Use 1 - Dining: Cafeteria/Fast Food] (b)	21	---	---	0.690	0.800
F3: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID PPG Glass, SHGC 0.32, [Bldg. Use 1 - Dining: Cafeteria/Fast Food] (b)	28	---	---	0.370	0.450
Door 103: Glass (> 50% glazing):Metal Frame, Entrance Door, Perf. Specs.: Product ID na, SHGC 0.25, [Bldg. Use 1 - Dining: Cafeteria/Fast Food] (b)	21	---	---	0.690	0.800
Door 4: Insulated Metal, Swinging, [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	28	---	---	0.500	0.500
<b>WEST</b>					
Exterior Wall 1: Wood-Framed, 16" o.c., [Bldg. Use 1 - Dining: Cafeteria/Fast Food]	348	21.0	3.8	0.048	0.051
F2: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID PPG Glass, SHGC 0.32, [Bldg. Use 1 - Dining: Cafeteria/Fast Food] (b)	102	---	---	0.370	0.450
F3: Metal Frame with Thermal Break:Fixed, Perf. Specs.: Product ID PPG Glass, SHGC 0.32, [Bldg. Use 1 - Dining: Cafeteria/Fast Food] (b)	28	---	---	0.370	0.450
Door 100: Glass (> 50% glazing):Metal Frame, Entrance Door, Perf. Specs.: Product ID na, SHGC 0.25, [Bldg. Use 1 - Dining: Cafeteria/Fast Food] (b)	21	---	---	0.690	0.800

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.

(b) Fenestration product performance must be certified in accordance with NFRC and requires supporting documentation.

(c) Slab-On-Grade proposed and budget U-factors shown in table are F-factors.

### Envelope PASSES: Design 8% better than code

#### Envelope Compliance Statement

**Compliance Statement:** The proposed envelope design represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed envelope systems have been designed to meet the 90.1 (2007) Standard requirements in COMcheck Version 4.1.1.0 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

Oscar Ramirez - Designer  
Name - Title

[Signature]  
Signature

1-21-2019  
Date



# COMcheck Software Version 4.1.1.0

## Inspection Checklist

Energy Code: 90.1 (2007) Standard

Requirements: 60.0% were addressed directly in the COMcheck software

Text in the "Comments/Assumptions" column is provided by the user in the COMcheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req ID	Plan Review	Complies?	Comments/Assumptions
4.2.2 [PR1] <sup>1</sup>	Plans and/or specifications provide all information with which compliance can be determined for the building envelope and document where exceptions to the standard are claimed.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.  <b>Location on plans/spec: A1.1</b>

**Additional Comments/Assumptions:**

<b>1</b> High Impact (Tier 1)	<b>2</b> Medium Impact (Tier 2)	<b>3</b> Low Impact (Tier 3)
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Section & Req ID	Footings / Foundation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
5.5.3.3 [FO1] <sup>1</sup>	Below-grade wall insulation R-value.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
5.5.3.5 [FO3] <sup>1</sup>	Slab edge insulation R-value.	R-____ <input type="checkbox"/> Unheated <input type="checkbox"/> Heated	R-____ <input type="checkbox"/> Unheated <input type="checkbox"/> Heated	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
5.8.1.2 [FO4] <sup>1</sup>	Slab edge insulation installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> S1.1
5.5.3.5 [FO5] <sup>1</sup>	Slab edge insulation depth/length.	____ ft	____ ft	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
5.8.1.7.3 [FO7] <sup>1</sup>	Insulation in contact with the ground has $\leq 0.3\%$ water absorption rate per ASTM C272.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> N/A

**Additional Comments/Assumptions:**

1 High Impact (Tier 1)    2 Medium Impact (Tier 2)    3 Low Impact (Tier 3)

Project Title: Dunkin' Donuts

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Section # & Req ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
5.4.3.2 [FR1] <sup>1</sup>	Factory-built fenestration and doors are labeled as meeting air leakage requirements.	Fenestration _____ Doors _____ cfm/ft <sup>2</sup>	Fenestration _____ Doors _____ cfm/ft <sup>2</sup>	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.  <b>Location on plans/spec:</b> A1.1
5.4.3.4 [FR4] <sup>1</sup>	Vestibules are installed where building entrances separate conditioned space from the exterior, and meet exterior envelope requirements. Doors have self-closing devices, and are >= 7 ft apart.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.  <b>Location on plans/spec:</b> A1.1
5.5.4.3a [FR8] <sup>1</sup>	Vertical fenestration U-Factor.	U- _____	U- _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
5.5.4.3b [FR9] <sup>1</sup>	Skylight fenestration U-Factor.	U- _____	U- _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
5.5.4.4.1 [FR10] <sup>1</sup>	Vertical fenestration SHGC value.	SHGC: _____	SHGC: _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
5.5.4.4.2 [FR11] <sup>1</sup>	Skylight SHGC value.	SHGC: _____	SHGC: _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
5.8.2.1 5.8.2.4 [FR12] <sup>1</sup>	Fenestration products rated in accordance with NFRC.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.  <b>Location on plans/spec:</b> A2.1
5.8.2.2 [FR13] <sup>1</sup>	Fenestration products are certified as to performance labels or certificates provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.  <b>Location on plans/spec:</b> A2.1
5.8.2.3 5.5.3.6 [FR14] <sup>1</sup>	U-factor of opaque doors associated with the building thermal envelope meets requirements.	U- _____ <input type="checkbox"/> Swinging <input type="checkbox"/> Nonswinging	U- _____ <input type="checkbox"/> Swinging <input type="checkbox"/> Nonswinging	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.

**Additional Comments/Assumptions:**

1 High Impact (Tier 1)	2 Medium Impact (Tier 2)	3 Low Impact (Tier 3)
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Project Title: Dunkin' Donuts

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Section # & Req. ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
5.4.3.1 [IN1] <sup>1</sup>	All sources of air leakage in the building thermal envelope are sealed, caulked, gasketed, weather stripped or wrapped with moisture vapor-permeable wrapping material to minimize air leakage.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A1.1, A4.1 - A4.4
5.5.3.1 [IN2] <sup>1</sup>	Roof R-value. For some ceiling systems, verification may need to occur during Framing Inspection.	R-____ <input type="checkbox"/> Above deck <input type="checkbox"/> Metal <input type="checkbox"/> Attic	R-____ <input type="checkbox"/> Above deck <input type="checkbox"/> Metal <input type="checkbox"/> Attic	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
5.8.1.2, 5.8.1.3 [IN3] <sup>1</sup>	Roof insulation installed per manufacturer's instructions. Blown or poured loose-fill insulation is installed only where the ceiling slope is <= 3:12.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A1.4
5.5.3.1.1 [IN5] <sup>1</sup>	High-albedo roofs meet solar reflectance of 0.70 and thermal emittance of 0.75 or SRI of 82.	SR:____ SRI:____	SR:____ SRI:____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> N/A
5.5.3.2 [IN6] <sup>1</sup>	Above-grade wall Insulation R-value.	R-____ <input type="checkbox"/> Mass <input type="checkbox"/> Metal <input type="checkbox"/> Steel <input type="checkbox"/> Wood	R-____ <input type="checkbox"/> Mass <input type="checkbox"/> Metal <input type="checkbox"/> Steel <input type="checkbox"/> Wood	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
5.8.1.2 [IN7] <sup>1</sup>	Above-grade wall Insulation installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A4.1 - A4.4
5.5.3.4 [IN8] <sup>1</sup>	Floor Insulation R-value.	R-____ <input type="checkbox"/> Mass <input type="checkbox"/> Steel <input type="checkbox"/> Wood	R-____ <input type="checkbox"/> Mass <input type="checkbox"/> Steel <input type="checkbox"/> Wood	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
5.8.1.1 [IN10] <sup>1</sup>	Building envelope Insulation is labeled with R-value or insulation certificate providing R-value and other relevant data.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
5.8.1.4 [IN11] <sup>1</sup>	Eaves are baffled to deflect air to above the insulation.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> N/A
5.8.1.5 [IN12] <sup>1</sup>	Insulation is installed in substantial contact with the inside surface separating conditioned space from unconditional space.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met. <b>Location on plans/spec:</b> A4.1 - A4.4
5.8.1.6 [IN13] <sup>1</sup>	Recessed equipment installed in building envelope assemblies does not compress the adjacent insulation.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.

1 High Impact (Tier 1)    2 Medium Impact (Tier 2)    3 Low Impact (Tier 3)

Project Title: Dunkin' Donuts

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Section # & Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
5.8.1.7 (IN14)	Exterior Insulation Is protected from damage with a protective material. Verification for exposed foundation insulation may need to occur during Foundation Inspection.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.  <b>Location on plans/spec:</b> N/A
5.8.1.7.1 (IN15)	Attics and mechanical rooms have Insulation protected where adjacent to attic or equipment access.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.  <b>Location on plans/spec:</b> N/A
5.8.1.7.2 (IN16)	Foundation vents do not interfere with insulation.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.
5.8.1.8 (IN17)	Insulation Intended to meet the roof insulation requirements cannot be installed on top of a suspended ceiling. Mark this requirement compliant if insulation is installed accordingly.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	Requirement will be met.  <b>Location on plans/spec:</b> A4.1 - A4.4

**Additional Comments/Assumptions:**

1 High Impact (Tier 1)	2 Medium Impact (Tier 2)	3 Low Impact (Tier 3)
------------------------	--------------------------	-----------------------

Section # & Req ID	Final Inspection	Complies?	Comments/Assumptions
5.4.3.3 [FI1] <sup>1</sup>	Weatherseals Installed on all loading dock cargo doors in Climate Zones 4-8.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	<b>Exception:</b> Requirement does not apply. <b>Location on plans/spec:</b> N/A

**Additional Comments/Assumptions:**

1 High Impact (Tier 1)  
  2 Medium Impact (Tier 2)  
  3 Low Impact (Tier 3)

Project Title: Dunkin' Donuts

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Report date: 01/21/19

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# COMcheck Software Version 4.0.8.2 Interior Lighting Compliance Certificate

## Section 1: Project Information

Energy Code: 2009 IECC  
Project Title: Dunkin Donuts  
Project Type: New Construction

Construction Site:  
43 Bennett Drive  
Caribou, ME 04736

Owner/Agent:

Designer/Contractor:  
The Dimension Group  
10755 Sandhill Rd  
Dallas, TX 75238  
214-343-9400

## Section 2: Interior Lighting and Power Calculation

A Area Category	B Floor Area (ft <sup>2</sup> )	C Allowed Watts / ft <sup>2</sup>	D Allowed Watts (B x C)
Dining: Bar Lounge/Leisure	1851	1.3	2406
Total Allowed Watts =			2406

## Section 3: Interior Lighting Fixture Schedule

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
Dining: Bar Lounge/Leisure (1851 sq.ft.)				
LED 9: A: WALL WASH REC: LED PAR 7W:	1	3	23	69
LED 4: P1: 8' LINEAR PENDANT: LED Other Fixture Unit 60W:	1	7	62	434
LED 1: P2: 4' LINEAR PENDANT: LED Linear 33W:	1	2	31	62
LED 2: P3: DECORATIVE PENDANT: LED PAR 15W:	1	3	15	45
LED 6: R1: LED DOWN LIGHT: LED A Lamp 25W:	1	15	25	375
LED 7: R2: 2X2 RECESSED FIX.: LED Panel 33W:	1	7	32	224
LED 3: R4: STRIP LIGHT - 30": LED MR 4W:	1	30	4	120
LED 5: R5: 2X4 PANEL: LED Panel 40W:	1	7	39	273
Total Proposed Watts =			1602	

## Section 4: Requirements Checklist

Interior Lighting PASSES - Design 33% better than code.

### Lighting Wattage:

1. Total proposed watts must be less than or equal to total allowed watts.

Allowed Watts	Proposed Watts	Complies
2406	1602	YES

### Controls, Switching, and Wiring:

2. Daylight zones under skylights more than 15 feet from the perimeter have lighting controls separate from daylight zones adjacent to vertical fenestration.
3. Daylight zones have individual lighting controls independent from that of the general area lighting.

Exceptions:

- Contiguous daylight zones spanning no more than two orientations are allowed to be controlled by a single controlling device.

- Daylight spaces enclosed by walls or ceiling height partitions and containing two or fewer light fixtures are not required to have a separate switch for general area lighting.

- 4. Independent controls for each space (switch/occupancy sensor).

*Exceptions:*

- Areas designated as security or emergency areas that must be continuously illuminated.
- Lighting in stairways or corridors that are elements of the means of egress.
- 5. Master switch at entry to hotel/motel guest room.
- 6. Individual dwelling units separately metered.
- 7. Medical task lighting or art/history display lighting claimed to be exempt from compliance has a control device independent of the control of the nonexempt lighting.
- 8. Each space required to have a manual control also allows for reducing the connected lighting load by at least 50 percent by either controlling all luminaires, dual switching of alternate rows of luminaires, alternate luminaires, or alternate lamps, switching the middle lamp luminaires independently of other lamps, or switching each luminaire or each lamp.

*Exceptions:*

- Only one luminaire in space.
- An occupant-sensing device controls the area.
- The area is a corridor, storeroom, restroom, public lobby or sleeping unit.
- Areas that use less than 0.6 Watts/sq.ft.
- 9. Automatic lighting shutoff control in buildings larger than 5,000 sq.ft.

*Exceptions:*

- Sleeping units, patient care areas; and spaces where automatic shutoff would endanger safety or security.
- 10. Photocell/astronomical time switch on exterior lights.

*Exceptions:*

- Lighting intended for 24 hour use.
- 11. Tandem wired one-lamp and three-lamp ballasted luminaires (No single-lamp ballasts).

*Exceptions:*

- Electronic high-frequency ballasts; Luminaires on emergency circuits or with no available pair.

## Section 5: Compliance Statement

*Compliance Statement:* The proposed lighting design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed lighting system has been designed to meet the 2009 IECC requirements in COMcheck Version 4.0.8.2 and to comply with the mandatory requirements in the Requirements Checklist.

Aaron Niven - MEP Designer  
Name - Title

Aaron Niven  
Signature

12/28/18  
Date



# COMcheck Software Version 4.0.8.2 Exterior Lighting Compliance Certificate

## Section 1: Project Information

Energy Code: **2009 IECC**  
 Project Title: Dunkin Donuts  
 Project Type: New Construction  
 Exterior Lighting Zone: 4 (High activity metropolitan commercial district)

Construction Site:  
 43 Bennett Drive  
 Caribou, ME 04736

Owner/Agent:

Designer/Contractor:  
 The Dimension Group  
 10755 Sandhill Rd  
 Dallas, TX 75238  
 214-343-9400

## Section 2: Exterior Lighting Area/Surface Power Calculation

A Exterior Area/Surface	B Quantity	C Allowed Watts / Unit	D Tradable Wattage	E Allowed Watts (B x C)	F Proposed Watts
Illuminated area of facade wall or surface	1424 ft2	0.2	No	285	1199
Total Tradable Watts* =				0	0
Total Allowed Watts =				285	
Total Allowed Supplemental Watts** =				1300	

\* Wattage tradeoffs are only allowed between tradable areas/surfaces.

\*\* A supplemental allowance equal to 1300 watts may be applied toward compliance of both non-tradable and tradable areas/surfaces.

## Section 3: Exterior Lighting Fixture Schedule

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
Illuminated area of facade wall or surface (1424 ft2): Non-tradable Wattage				
LED 1: EWS-1: WALL PACK: LED A Lamp 25W:	1	5	27	135
LED 2: PRE-FAB MANU: CANOPY LTG: LED A Lamp 12W:	1	17	12	204
LED 5: LED 11: STRIP LIGHTING 79ft: Other:	1	79	4	316
LED 3: LED 12: STRIP LIGHTING 61ft: Other:	1	61	4	244
Incandescent 1: WSCX-2: 18" ARM: Incandescent 50W:	1	6	50	300
Total Tradable Proposed Watts =				0

## Section 4: Requirements Checklist

### Lighting Wattage:

1. Within each non-tradable area/surface, total proposed watts must be less than or equal to total allowed watts. Across all tradable areas/surfaces, total proposed watts must be less than or equal to total allowed watts.  
 Compliance: Passes using supplemental allowance watts.

### Controls, Switching, and Wiring:

2. All exemption claims are associated with fixtures that have a control device independent of the control of the nonexempt lighting.
3. Lighting not designated for dusk-to-dawn operation is controlled by either a photosensor (with time switch), or an astronomical time switch.
4. Lighting designated for dusk-to-dawn operation is controlled by an astronomical time switch or photosensor.

5. All time switches are capable of retaining programming and the time setting during loss of power for a period of at least 10 hours.

**Exterior Lighting Efficacy:**

6. All exterior building grounds luminaires that operate at greater than 100W have minimum efficacy of 60 lumen/watt.

*Exceptions:*

- Lighting that has been claimed as exempt and is identified as such in Section 3 table above.
- Lighting that is specifically designated as required by a health or life safety statute, ordinance, or regulation.
- Emergency lighting that is automatically off during normal building operation.
- Lighting that is controlled by motion sensor.

**Section 5: Compliance Statement**

*Compliance Statement:* The proposed exterior lighting design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed lighting system has been designed to meet the 2009 IECC requirements in COMcheck Version 4.0.8.2 and to comply with the mandatory requirements in the Requirements Checklist.

Aaron Niven - MEP Designer  
Name - Title

  
Signature

12/28/18  
Date



COMcheck Software Version 4.0.8.2

# Mechanical Compliance Certificate

## Section 1: Project Information

Energy Code: **2009 IECC**  
Project Title: Dunkin Donuts  
Project Type: New Construction

Construction Site:  
43 Bennett Drive  
Caribou, ME 04736

Owner/Agent:

Designer/Contractor:  
The Dimension Group  
10755 Sandhill Rd  
Dallas, TX 75238  
214-343-9400

## Section 2: General Information

Building Location (for weather data): Caribou, Maine  
Climate Zone: 7

## Section 3: Mechanical Systems List

### Quantity System Type & Description

- 1 HVAC System 2 (Single Zone) :  
Heating: 1 each - Central Furnace, Propane, Capacity = 180 kBtu/h  
No minimum efficiency requirement applies  
Cooling: 1 each - Single Package DX Unit, Capacity = 115 kBtu/h, Air-Cooled Condenser, Air Economizer  
Proposed Efficiency = 12.00 EER, Required Efficiency: 11.00 EER  
Fan System: None
- 1 HVAC System 1 (Single Zone) :  
Heating: 1 each - Central Furnace, Propane, Capacity = 115 kBtu/h  
No minimum efficiency requirement applies  
Cooling: 1 each - Single Package DX Unit, Capacity = 49 kBtu/h, Air-Cooled Condenser, Air Economizer  
Proposed Efficiency = 13.00 SEER, Required Efficiency: 13.00 SEER  
Fan System: None
- 1 Water Heater 1:  
Gas Instantaneous Water Heater, Capacity: 0 gallons, Input Rating: 75 kBtu/h w/ Heat Trace Tape Installed  
Proposed Efficiency: 0.62 EF, Required Efficiency: 0.62 EF

## Section 4: Requirements Checklist

### Requirements Specific To: HVAC System 2 :

- 1. Equipment minimum efficiency: Single Package Unit: 11.00 EER
- 2. Newly purchased equipment meets the efficiency requirements
- 3. Hot gas bypass prohibited unless system has multiple steps of unloading or continuous capacity modulation
- 4. Hot gas bypass limited to 50% of total cooling capacity

### Requirements Specific To: HVAC System 1 :

- 1. Equipment minimum efficiency: Single Package Unit: 13.00 SEER
- 2. Newly purchased equipment meets the efficiency requirements

### Requirements Specific To: Water Heater 1 :

- 1. Water heating equipment meets minimum efficiency requirements: Gas Instantaneous Water Heater efficiency: 0.62 EF
- 2. First 8 ft of outlet piping is insulated
- 3. All heat traced or externally heated piping insulated

4. Automatic time control of heat tapes and recirculating systems present

**Generic Requirements: Must be met by all systems to which the requirement is applicable:**

1. Plant equipment and system capacity no greater than needed to meet loads

*Exception(s):*

- Standby equipment automatically off when primary system is operating  
 Multiple units controlled to sequence operation as a function of load

2. Minimum one temperature control device per system

3. Minimum one humidity control device per installed humidification/dehumidification system

4. Load calculations per ASHRAE/ACCA Standard 183.

5. Automatic Controls: Setback to 55°F (heat) and 85°F (cool); 7-day clock, 2-hour occupant override, 10-hour backup

*Exception(s):*

- Continuously operating zones

6. Outside-air source for ventilation; system capable of reducing OSA to required minimum

7. R-5 supply and return air duct insulation in unconditioned spaces

R-8 supply and return air duct insulation outside the building

R-8 insulation between ducts and the building exterior when ducts are part of a building assembly

*Exception(s):*

- Ducts located within equipment

- Ducts with interior and exterior temperature difference not exceeding 15°F.

8. Mechanical fasteners and sealants used to connect ducts and air distribution equipment

9. Ducts sealed - longitudinal seams on rigid ducts; transverse seams on all ducts; UL 181A or 181B tapes and mastics

10. Hot water pipe insulation: 1.5 in. for pipes  $\leq 1.5$  in. and 2 in. for pipes  $> 1.5$  in.

Chilled water/refrigerant/brine pipe insulation: 1.5 in. for pipes  $\leq 1.5$  in. and 1.5 in. for pipes  $> 1.5$  in.

Steam pipe insulation: 1.5 in. for pipes  $\leq 1.5$  in. and 3 in. for pipes  $> 1.5$  in.

*Exception(s):*

- Piping within HVAC equipment.

- Fluid temperatures between 55 and 105°F.

- Fluid not heated or cooled with renewable energy.

- Piping within room fan-coil (with AHRI440 rating) and unit ventilators (with AHRI840 rating).

- Runouts  $< 4$  ft in length.

11. Operation and maintenance manual provided to building owner

12. Thermostatic controls have 5°F deadband

*Exception(s):*

- Thermostats requiring manual changeover between heating and cooling

- Special occupancy or special applications where wide temperature ranges are not acceptable and are approved by the authority having jurisdiction.

13. Balancing devices provided in accordance with IMC 603.17

14. Demand control ventilation (DCV) present for high design occupancy areas ( $> 40$  person/1000 ft<sup>2</sup> in spaces  $> 500$  ft<sup>2</sup>) and served by systems with any one of 1) an air-side economizer, 2) automatic modulating control of the outdoor air damper, or 3) a design outdoor airflow greater than 3000 cfm.

*Exception(s):*

- Systems with heat recovery.

- Multiple-zone systems without DDC of individual zones communicating with a central control panel.

- Systems with a design outdoor airflow less than 1200 cfm.

- Spaces where the supply airflow rate minus any makeup or outgoing transfer air requirement is less than 1200 cfm.

15. Motorized, automatic shutoff dampers required on exhaust and outdoor air supply openings

*Exception(s):*

- Gravity dampers acceptable in buildings  $< 3$  stories

16. Automatic controls for freeze protection systems present

17. Exhaust air heat recovery included for systems 5,000 cfm or greater with more than 70% outside air fraction or specifically exempted

*Exception(s):*

- Hazardous exhaust systems, commercial kitchen and clothes dryer exhaust systems that the International Mechanical Code prohibits the use of energy recovery systems.

- Systems serving spaces that are heated and not cooled to less than 60°F.

- Where more than 60 percent of the outdoor heating energy is provided from site-recovered or site solar energy.

- Heating systems in climates with less than 3600 HDD.

- Cooling systems in climates with a 1 percent cooling design wet-bulb temperature less than 64°F.

- Systems requiring dehumidification that employ energy recovery in series with the cooling coil.
- Laboratory fume hood exhaust systems that have either a variable air volume system capable of reducing exhaust and makeup air volume to 50 percent or less of design values or, a separate make up air supply meeting the following makeup air requirements:
  - a) at least 75 percent of exhaust flow rate, b) heated to no more than 2°F below room setpoint temperature, c) cooled to no lower than 3°F above room setpoint temperature, d) no humidification added, e) no simultaneous heating and cooling.

## Section 5: Compliance Statement

*Compliance Statement:* The proposed mechanical design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed mechanical systems have been designed to meet the 2009 IECC requirements in COMcheck Version 4.0.8.2 and to comply with the mandatory requirements in the Requirements Checklist.

\_\_\_\_\_  
Name - Title

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

## Section 6: Post Construction Compliance Statement

- HVAC record drawings of the actual installation, system capacities, calibration information, and performance data for each equipment provided to the owner.
- HVAC O&M documents for all mechanical equipment and system provided to the owner by the mechanical contractor.
- Written HVAC balancing and operations report provided to the owner.

The above post construction requirements have been completed.

\_\_\_\_\_  
Principal Mechanical Designer-Name

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

## Sec. 13-600 Flood Hazard Area Regulations.

### Sec. 13-601 Establishment

Certain areas of the

The City of Caribou, Maine elects are subject to periodic flooding, causing serious damages to properties within these areas. Relief is available in the form of flood insurance as authorized by the National Flood Insurance Act of 1968.

Therefore, the City of Caribou, Maine has chosen to become a participating community in the National Flood Insurance Program and agrees to comply with the requirements of the National Flood Insurance Act of 1968 (P.L. 90-488, as amended) as delineated in this Floodplain Management Ordinance.

It is the intent of the City of Caribou, Maine to require the recognition and evaluation of flood hazards in all official actions relating to land use in the floodplain areas having special flood hazards.

The City of Caribou has the legal authority to adopt land use and control measures to reduce future flood losses pursuant to Title 30-A MRSA, Sections 3001-3007, 4352, 4401-4407, and Title 38 MRSA, Section 440.

The National Flood Insurance Program, established in the aforesaid Act, provides that areas of the ~~Town~~ City of Caribou having a special flood hazard be identified by the Federal Emergency Management Agency (FEMA) and ~~the that~~ floodplain management measures be applied in such flood hazard areas. This Ordinance establishes a Flood Hazard Development Permit system and review procedure for development activities in the designated flood hazard areas of the City of Caribou, Maine.

The areas of special flood hazard, Zones A and A1-30, for the City of Caribou, Maine, identified by ~~FEMA~~ the Federal Emergency Management Agency in a report entitled "Flood Insurance Study ~~City of~~ Caribou, Maine, Arceostook County," dated February, 1980 with accompanying "Flood Insurance Rate Map" dated August 1, 1980 and "Flood Boundary and Floodway Map" dated August 1, 1980 ~~is, are~~ hereby adopted by reference and declared to be a part of this Ordinance.

### Sec. 13-602 Permit Required.

Before any construction or other development (as defined in Section 13-614), including the placement of manufactured homes, begins within any areas of special flood hazard established in Section 13-601, a Flood Hazard Development Permit shall be obtained from the Code Enforcement Officer. This permit shall be in addition to any other permits which may be required pursuant to the codes and ordinances of the City of Caribou, Maine.

### Sec. 13-603 Application for Permit

The application for a Flood Hazard Development Permit shall be submitted to the Code Enforcement Officer and shall include:

- ~~A.~~ A. The name ~~and~~, address, ~~and phone number~~ of the applicant, ~~owner, and contractor~~;
- ~~B.~~ B. An address and a map indicating the location of the construction site;
- ~~C.~~ C. A site plan showing location of existing and/or proposed development, including but not limited to structures, sewage disposal facilities, water supply facilities, areas to be cut and filled, and lot ~~dimension~~ dimensions;

- D. D. A statement of the intended use of the structure and/or development;
- E. A statement of the cost of the development including all materials and labor;
- F. F. A statement as to the type of sewage system proposed;
- G. G. Specification of dimensions of the proposed structure and/or development;

[Items H-K.2 apply only to new construction and substantial improvements.]

G. H. The elevation in relation to the National Geodetic Vertical Datum (NGVD), North American Vertical Datum (NAVD), or to a locally established datum in Zone A only, of the:

1. \_\_\_\_\_ base flood at the proposed site of all new or substantially improved structures, which is determined:

a. \_\_\_\_\_ in Zones A 1-30, from data contained in the "Flood Insurance Study- City of Caribou, Maine," as described in 13-602 or,

B:—

b. \_\_\_\_\_ in Zone A:

- (1) from any base flood elevation data from federal, state, or other technical sources (such as FEMA's Quick-2 model, FEMA 265), including information obtained pursuant to Section 13-606 K. and Section 13-608.D.; or,
- (2) in the absence of all data described in Section 13-608.H.1.b.(1), information to demonstrate that the ground-atstructure shall meet the intersection-of-the-floodplain-elevation requirement in Section 13-606.F.2.b., Section 13-606.G.2.a. or b., or Section 13-606 H.2.b.

— boundary and a line perpendicular to the shoreline which passes along the ground- through a site of the proposed building;

1. \_\_\_\_\_ 2. \_\_\_\_\_ highest and lowest grades at the site adjacent to the walls of the proposed building;

2. \_\_\_\_\_ 3. \_\_\_\_\_ lowest floor, including basement; and whether or not such structures contain a basement; and, \_\_\_\_\_ and,

3. \_\_\_\_\_ 4. \_\_\_\_\_ level, in the case of non-residential structures only, to which the structure will be floodproofed;

H. —I. A description of a base flood an elevation reference point established on the site of all new or- substantially improved structures developments for which elevation standards apply as required in Section 13-606;

I. —J. A written certification by a Professional Land Surveyor, registered land surveyor or professional engineer or architect, that the base flood elevation and grade elevations shown on the application are accurate;

K. The following certifications as required in Section 13-606 by a registered professional engineer or architect ~~that flood proofing~~:

1. a Floodproofing Certificate (FEMA Form 81-65, as amended), to verify that the floodproofing methods for any non-residential structures will meet the ~~flood proofing~~floodproofing criteria of ~~13-604. G.4;13-607. G~~; Section 13-606.G.; and other applicable standards in Section 13-607

2. a Hydraulic Openings Certificate to verify that engineered hydraulic openings in foundation walls will meet the standards of Section 13-606.L.2.a.;

3. a certified statement that bridges will meet the standards of Section 13-606.M.;

4. a certified statement that containment walls will meet the standards of Section 13-606.N.

~~K. L.~~ A description of the extent to which any water course will be altered or relocated as a result of the proposed development; and,

~~L. M.~~ A statement of construction plans describing in detail how each applicable development standard in Section 13-606 will be met.

#### **Sec. 13-604 Application Fee and Expert's Fee.**

A non-refundable application fee of \$10.00 shall be paid to the City Clerk and a copy of a receipt for the same shall accompany the application.

An additional fee may be charged if the Code Enforcement Officer, Planning Board, and/or ~~the~~ Board of Appeals needs the assistance of a professional engineer or other ~~expert~~expert. The ~~expert's~~expert's fee shall be paid in full by the applicant within 10 days after the town submits a bill to the applicant. Failure to pay the bill shall constitute a violation of the ordinance and be grounds for the issuance of a stop work order. An expert shall not be hired by the municipality at the expense of an applicant until the applicant has either consented to such hiring in writing or been given an opportunity to be heard on the subject. An applicant who is dissatisfied with a decision ~~of the Code Enforcement Officer~~to hire expert assistance may appeal that decision to the Board of Appeals.

#### **Sec. 13-605 Review of Flood Hazard Development Permit Applications.**

The Code Enforcement Officer shall:

~~A. A.~~ Review all applications for the Flood Hazard Development Permit to assure that proposed ~~building sites~~developments are reasonably safe from flooding and to determine that all pertinent requirements of Section 13-606 (Development Standards) have been, or will be met;

~~B.~~ Utilize, in the review of all Flood Hazard Development Permit applications,;

1. the base flood and floodway data contained in the "Flood Insurance Study - City of Caribou, Maine," as described in Section 13-601

~~B.~~ 2. in special flood hazard areas where base flood elevation and floodway data are not provided, the Code Enforcement Officer shall obtain, review and reasonably utilize any base flood

elevation and floodway data from federal, state, or other technical sources, including information obtained pursuant to ~~13-604.G.1.b; 13-607.J;~~ Section 13-603.H.1.b.(1); Section 13-606.K.; and ~~13-609.~~ Section 13-608.D., in order to administer Section 13-606 of this Ordinance; and,

3. when the community establishes a base flood elevation in a Zone A by methods outlined in Section 13-603.H.1.b.(1), the community shall submit that data to the Maine Floodplain Management Program.

~~C.~~ C. Make interpretations of the location of boundaries of special flood hazard areas shown on the maps described in 13-601 of this Ordinance;

~~D.~~ D. In the review of Flood Hazard Development Permit applications, determine that all necessary permits have been obtained from those federal, state, and local government agencies from which prior approval is required by federal and/or state law, including but not limited to Section 404 of the Federal Water Pollution Control Act Amendments of 1972, 33 U.S.C. ~~1334~~1344;

~~E.~~ E. Notify adjacent municipalities, the Department of Environmental Protection, and the Maine Floodplain Management Program in the State Planning Office prior to any alteration or relocation of a water course and submit copies of such notifications to the Federal Emergency Management Agency;

Issue a

F. If the application satisfies the requirements of this Ordinance, approve the issuance of one of the following Flood Hazard Development Permits based on the type of development:

~~F.~~ 1. A two part Flood Hazard Development Permit for elevated structures. Part I shall authorize the applicant to build a structure to and including the first horizontal floor only above the base flood level. At that time the applicant shall provide the Code Enforcement Officer with an application for Part II of the Flood Hazard Development Permit and shall include an "under construction" Elevation Certificate completed by a Professional Land Surveyor, registered Maine surveyor, or professional engineer or architect based on the Part I permit construction, for verifying compliance with the elevation requirements of Section 13-606, paragraphs F., G., and, or H. Following review of the application Elevation Certificate data, which review shall take place within 72 hours of receipt of the application, the Code Enforcement Officer shall issue Part II of the Flood Hazard Development Permit. Part II shall authorize the applicant to complete the construction project; and/or,

2. A Flood Hazard Development Permit for Floodproofing of Non-Residential Structures that are new construction or substantially improved non-residential structures that are not being elevated but that meet the floodproofing standards of Section 13-606.G.1.a., b., and c. The application for this permit shall include a Floodproofing Certificate signed by a registered professional engineer or architect; or,

3. A Flood Hazard Development Permit for Minor Development for all development that is not new construction or a substantial improvement, such as repairs, maintenance, renovations, or additions, whose value is less than 50% of the market value of the structure. Minor development also includes, but is not limited to: accessory structures as provided for in Section 13-606.J., mining, dredging, filling, grading, paving, excavation, drilling operations, storage of equipment or materials, deposition or extraction of materials, public or private sewage disposal systems or water supply facilities that do not involve structures; and non-structural projects such as bridges, dams, towers, fencing, pipelines, wharves, and piers.

G. G. Maintain, as a permanent record, copies of all Flood Hazard Development Permit Applications, corresponding Permits issued, and data relevant thereto, including reports of the Board of Appeals on variances granted under the provisions of 13-609 of ~~the~~this Ordinance, and copies of Elevation Certificates ~~and~~, Floodproofing Certificates, Certificates of Compliance, and certifications of design standards required under the provisions of Sections 13-603,606, and 607 of this Ordinance.

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**Sec. 13-606 Development Standards.**

**ARTICLE VI - DEVELOPMENT STANDARDS**

All developments in areas of special flood hazard shall meet the following applicable standards:

~~A. New construction or substantial improvement of any structure shall:~~

A. All Development - All development shall:

~~1.~~ 1. be designed or modified and adequately anchored to prevent flotation, (excluding piers and docks), collapse or lateral movement of the structuredevelopment resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy;

2. 2. use construction materials that are resistant to flood damage;

3. 3. use construction methods and practices that will minimize flood damage; and,

4. 4. use electrical, heating, ventilation, plumbing, and air conditioning equipment, and other service facilities that are designed and/or located so as to prevent water from entering or accumulating within the components during flooding conditions.

~~B.~~ B. Water Supply - All new and replacement water supply systems shall be designed to minimize or eliminate infiltration of flood waters into the systems.

~~C.~~ C. Sanitary Sewage Systems - All new and replacement sanitary sewage systems shall be designed and located to minimize or eliminate infiltration of flood waters into the system and discharges from the system into flood waters.

~~On-~~

~~D.~~ D. On Site Waste Disposal Systems - On site waste disposal systems shall be located and constructed to avoid impairment to them or contamination from them during floods.

All development

~~E.~~ E. Watercourse Carrying Capacity - All development associated with altered or relocated portions of a watercourse shall be constructed and maintained in such a manner that no reduction occurs in the flood carrying capacity of anythe watercourse.

~~F.~~ F. Residential - New construction or substantial improvement of any residential structure located within:

~~1.~~ 1. Zones A1-30 shall have the lowest floor (including basement) elevated to at least one foot above the base flood elevation.-

2. Zone A shall have the lowest floor (including basement) elevated:

2.a. to at least one foot above the base flood elevation utilizing information obtained pursuant to Section 13-603.H.1.b.(1), 13-605. B.; or 13-608. D.; or,

b. in the absence of all data described in Section 13-606.F.2.a., to at least two feet above the highest adjacent grade to the structure.

G. **G. Non Residential** - New construction or substantial improvement of any non-residential structure located within:

1. Zones A1-30 shall have the lowest floor (including basement) elevated to at least one foot above the base flood elevation, or together with attendant utility and sanitary facilities shall:

a. be floodproofed to at least one foot above the base flood levelevation so that below that elevation the structure is watertight with walls substantially impermeable to the passage of water;

b. have structural components capable of resisting hydrostatic and hydrodynamic loads and the effects of buoyancy; and,

c. be certified by a registered professional engineer or architect that the floodproofing design and methods of construction are in accordance with accepted standards of practice for meeting the provisions of this section. Such certification shall be provided with the application for a Flood Hazard Development Permit, as required by 13-603. K. and shall include a record of the elevation above mean sea level ~~of~~ to which the ~~lowest floor including basement~~ structure is floodproofed.

2. Zone A shall have the lowest floor (including basement) elevated:

2.a. to at least one foot above the base flood elevation utilizing information obtained pursuant to 13-603. H.1.b.;1.b.; 13-605. B.; or 13-608. D.; or,

b. in the absence of all data described in Article VI.G.2.a., to at least two feet above the highest adjacent grade to the structure; or,

c. together with attendant utility and sanitary facilities meet the floodproofing standards of Section 13-606.G.1.a., b., and c.

H. **H. Manufactured Homes** - New or substantially improved manufactured homes located within:

1. Zones A1-30 shall:

a. be elevated ~~on a permanent foundation so~~ such that the lowest floor (including basement) of the manufactured home is at least one foot above the base flood elevation; ~~and,~~

b. be on a permanent foundation, which may be poured masonry slab or foundation walls, with hydraulic openings, or may be reinforced piers or block supports, any of which support the manufactured home so that no weight is supported by its wheels and axles; and,

~~b.~~ c. be securely anchored to an adequately anchored foundation system to resist flotation, collapse, or lateral movement. Methods of anchoring may include, but are not limited to:

(1) (1) over-the-top ties anchored to the ground at the four corners of the manufactured home, plus two additional ties per side at intermediate points (manufactured homes less than 50 feet long require one additional tie per side); or by,

(2) (2) frame ties at each corner of the home, plus five additional ties along each side at intermediate points (manufactured homes less than 50 feet long require four additional ties per side).

(3) (3) all components of the anchoring system described in 13-606. H.1.c.(1) & (2) shall be capable of carrying a force of 4800 pounds.

2. Zone A shall ~~have:~~

2.a. be elevated on a permanent foundation, as described in Section 13-606.H.1.b., such that the lowest floor (including basement) ~~elevated to~~of the manufactured home is at least one foot above the base flood elevation utilizing information obtained pursuant to 13-603.H.1.b; 13-605.B.; or 13-608. D.; or,

b. in the absence of all data as described in Section 13-606.H.2.a., to at least two feet above the highest adjacent grade to the structure; and,

c. meet the anchoring requirements of Section 13-606.H.1.c.

I. **Recreational Vehicles** - Recreational Vehicles located within:

1. Zones **A and A1-30** shall either:

a. ~~Be~~ a. be on the site for fewer than 180 consecutive days; and,

Be

b. b. be fully licensed and ready for highway use. A recreational vehicle is ready for highway use if it is on its wheels or jacking system, is attached to the site only by quick disconnect type utilities and security devices, and has no permanently attached additions; or,

Meet

e. c. be permitted in accordance with the ~~permit requirements of~~ elevation and anchoring requirements for "manufactured ~~home~~homes" in 13-606.H. ~~a&b~~1.

J. **Accessory Structures** - Accessory Structures, as defined in Section 13-613, located within Zones **A and A1-30**, shall be exempt from the elevation criteria required in Section 13-606.F. & G. above, if all other requirements of Section 13-606 and all the following requirements are met. Accessory Structures shall:

1. have unfinished interiors and not be used for human habitation;

2. have hydraulic openings, as specified in Section 13-606.L.2., in at least two different walls of the accessory structure;
3. be located outside the floodway;
4. when possible be constructed and placed on the building site so as to offer the minimum resistance to the flow of floodwaters and be placed further from the source of flooding than is the primary structure; and,
5. have only ground fault interrupt electrical outlets. The electric service disconnect shall be located above the base flood elevation and when possible outside the Special Flood Hazard Area.

**J. K. Floodways -**

1. In Zones A1-30 riverine areas, encroachments, including fill, new construction, substantial improvement, ~~substantial improvement,~~ and other development shall not be permitted ~~in riverine areas, for which within~~ a regulatory floodway ~~which~~ is designated on the ~~community's~~ "community's Flood Insurance Rate Map" or "Flood Boundary and Floodway Map";, unless a technical evaluation certified by a registered professional engineer is provided demonstrating that such encroachments will not result in any increase in flood levels within the community during the occurrence of the base flood discharge.
2. In Zones A and A1-30, riverine areas for which no regulatory floodway is designated, encroachments, including fill, new construction, substantial improvement, and other development shall not be permitted in the floodway as determined in Section 13-606.K.3. unless a technical evaluation certified by a registered professional engineer is provided demonstrating that the cumulative effect of the proposed development, when combined with all other existing development and anticipated development:
  - a. will not increase the water surface elevation of the base flood more than one foot at any point within the community; and,
  - b. is consistent with the technical criteria contained in FEMA's guidelines and standards for flood risk analysis and mapping.
3. In ~~Zone~~Zones A and A1-30, riverine areas, ~~in for~~ which no regulatory floodway is designated, the regulatory floodway is determined to be the channel of the river or other water course and the adjacent land areas to a distance of one-half the width of the floodplain as measured from the normal high water mark to the upland limit of the floodplain, ~~encroachments, including fill, new construction, substantial improvement, and other development shall not be permitted unless a technical evaluation certified by a registered professional engineer is provided meeting the requirements of 13-607, paragraph J.2.~~

**K. L. Enclosed Areas Below the Lowest Floor -** New construction or substantial improvement of any structure in Zones A and A1-30 and A<sub>2</sub> that meets the development standards of 13-606, including the elevation requirements of 13-606, paragraphs F<sub>1.1</sub>, G<sub>1.1</sub> or H<sub>1</sub> and is elevated on posts, columns, piers, piles, "stilts", or crawlspaces may be enclosed below the base flood elevation requirements provided all the following criteria are met or exceeded:

1. Enclosed areas are not "basements" as defined in 13-613;

2. 2. Enclosed areas shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of ~~floodwater~~flood water. Designs for meeting this requirement must either:
- a. ~~be~~ a. be engineered and certified by a registered professional engineer or architect; or,
  - b. b. meet or exceed the following minimum criteria:—
    - (1) (1) a minimum of two openings having a total net area of not less than one square inch for every square foot of the enclosed area;
    - (2) (2) the bottom of all openings shall be below the base flood elevation and no higher than one foot above the lowest grade; and,
    - (3) (3) openings may be equipped with screens, louvers, valves, or other coverings or devices provided that they permit the entry and exit of flood waters automatically without any external influence or control such as human intervention, including the use of electrical and other non-automatic mechanical means; ~~and;~~
3. 3. The enclosed area shall not be used for human habitation; and,
4. The enclosed ~~area may be used~~ areas are usable solely for building ~~maintenance,~~ access, parking of vehicles, or ~~storage of articles~~storage.

**M. Bridges** - New construction or substantial improvement of any bridge in Zones A and equipment used for maintenance of A1-30 shall be designed such that:

- 4. 1. when possible, the building lowest horizontal member (excluding the pilings, or columns) is elevated to at least one foot above the base flood elevation; and,
- 2. a registered professional engineer shall certify that:
  - a. the structural design and methods of construction shall meet the elevation requirements of this section and the floodway standards of Article VI.K.; and,
  - b. the foundation and superstructure attached thereto are designed to resist flotation, collapse and lateral movement due to the effects of wind and water loads acting simultaneously on all structural components. Water loading values used shall be those associated with the base flood.

**N. Containment Walls** - New construction or substantial improvement of any containment wall located within:

- 1. Zones A and A1-30, shall:
  - a. have the containment wall elevated to at least one foot above the base flood elevation;

- b. have structural components capable of resisting hydrostatic and hydrodynamic loads and the effects of buoyancy; and,
- c. be certified by a registered professional engineer or architect that the design and methods of construction are in accordance with accepted standards of practice for meeting the provisions of this section. Such certification shall be provided with the application for a Flood Hazard Development Permit, as required by Section 603.K.

**O. Wharves, Piers and Docks** - New construction or substantial improvement of wharves, piers, and docks are permitted in Zones A and A1-30, in and over water and seaward of mean high tide, if the following requirements are met:

- 1. wharves, piers, and docks shall comply with all applicable local, state, and federal regulations; and,
- 2. for commercial wharves, piers, and docks, a registered professional engineer shall develop or review the structural design, specifications, and plans for the construction.

**Sec. 13-607 Certificate of Compliance.**

No land in a special flood hazard area shall be occupied or used and ~~not~~ structure which is constructed or substantially improved shall be occupied until a Certificate of Compliance is issued by the Code Enforcement Officer subject to the following provisions:

~~A. The~~ **A. For New Construction or Substantial Improvement of any elevated structure the** applicant shall submit to the Code Enforcement Officer, an Elevation Certificate completed by:

- 1. a registered Maine surveyor for compliance with 13-607, paragraphs F, G, H, or K; and,
- 2. a Professional Land Surveyor, registered professional engineer, or architect, in the case of flood-proofed non-residential structures, for compliance with 13-606, paragraphs F., G; and,., or H.

~~The application for a Certificate of Compliance shall be submitted by the applicant in writing along with a completed Elevation Certificate.~~

~~B. The~~ **B. The applicant shall submit written notification** to the Code Enforcement Officer that the development is complete and complies with the provisions of this ordinance.

~~The~~

~~C. Within 10 working days, the~~ **C. Within 10 working days, the** Code Enforcement Officer shall:

- 1. review the application within 10 working days of receipt of the application Elevation Certificate and the applicant's written notification; and,
- 2. upon determination that the development conforms with the provisions of this ordinance, shall issue a Certificate of Compliance, provided the building conforms with the provisions of this Ordinance.

**Sec. 13-608 Review of Subdivision and Development Proposals.**

The Planning Board shall, when reviewing subdivisions and other proposed developments that require review under other federal law, state law or local ordinances or regulations and all projects on 5 or more disturbed acres, or in the case of manufactured home parks divided into two or more lots, assure that:

- A. A. All such proposals are consistent with the need to minimize flood damage.
- B. B. All public utilities and facilities, such as sewer, gas, electrical and water systems are located and constructed to minimize or eliminate flood ~~damages~~damages.
- C. C. Adequate drainage is provided so as to reduce exposure to flood hazards.
- D. D. All proposals include base flood ~~elevation~~elevations, flood boundaries, and, in a riverine floodplain, floodway data. These determinations shall be based on engineering practices recognized by the Federal Emergency Management Agency.
- E. E. Any proposed development plan ~~shall~~must include a ~~statement that the developer will require~~condition of plan approval requiring that structures on ~~lots~~any lot in the development having any portion of its land within a Special Flood Hazard Area, are to be constructed in accordance with 13-606 of this ordinance ~~and that such requirements.~~ Such requirement will be included in any deed, lease, purchase and sale agreement, or document transferring or expressing an intent to transfer any interest in real estate or structure, including but not limited to a time-share interest. ~~That statement~~The condition shall clearly articulate that the municipality may enforce any violation of the construction requirement and that fact shall also be included in the deed or ~~any~~any other document previously described. The construction requirement shall also be clearly stated on any map, plat, or plan to be signed by the Planning Board or local reviewing authority as part of the approval process.

**Sec. 13-609 Appeals and Variances.**

The Board of Appeals of the City of Caribou, ~~Maine~~, may, upon written application of an aggrieved party, hear and decide appeals ~~from determinations of where it is alleged that there is an error in any order,~~ requirement, decision, or determination made by, or failure to act by, the Code Enforcement Officer or Planning Board in the administration or enforcement of the provisions of this Ordinance.-

The Board of Appeals may grant a variance from the requirements of this Ordinance consistent with state law and the following criteria:

- A. A. Variances shall not be granted within any designated regulatory floodway if any increase in flood levels during the base flood discharge would result.
- B. B. Variances shall be granted only upon:
  1. 1. a showing of good and sufficient cause; and,
  2. 2. a determination that should a flood comparable to the base flood occur, the granting of a variance will not result in increased flood heights, additional threats to public safety, public expense, or create nuisances, cause fraud or victimization of the public or conflict with existing local laws or ordinances; and,
  3. 3. a showing that the ~~existence~~issuance of the variance will not conflict with other state, federal, or local laws or ordinances; and,
  4. 4. a determination that failure to grant the variance would result in "undue hardship", ~~is~~ is in this sub-section means:

- a. ~~\_\_\_\_\_~~ a. \_\_\_\_\_ that the land in question cannot yield a reasonable return unless a variance is granted;
- and,
- b. ~~\_\_\_\_\_~~ b. \_\_\_\_\_ that the need for a variance is due to the unique circumstances of the property and not to the general conditions in the neighborhood; and,
- c. ~~\_\_\_\_\_~~ c. \_\_\_\_\_ that the granting of a variance will not alter the essential character ~~or of~~ the locality; and,
- d. ~~\_\_\_\_\_~~ d. \_\_\_\_\_ that the hardship is not the result of action taken by the applicant or a prior owner.
- C. C. Variances shall only be issued upon a determination that the variance is the minimum necessary, considering the flood hazard, to afford relief, and the Board of Appeals may impose such conditions to a variance as it deems necessary.
- D. D. Variances may be issued ~~by a community~~ for new construction, substantial improvements, or other development for the conduct of a functionally dependent use provided that:
1. 1. other criteria of 13-609 and 13-606. K. are met; and,
  2. 2. the structure or other development is protected by methods that minimize flood damages during the base flood and create no additional threats to public safety.
- E. E. Variances may be issued ~~by a community~~ for the repair, reconstruction, rehabilitation, or restoration of structures listed on the National Register of Historic Places or a State Inventory of Historic Places, without regard to Structures upon the determination that:
1. 1. the ~~procedures set forth in 13-910~~ development meets the criteria of Section 13-609, paragraphs A. through D. above; and,
  2. the proposed repair, reconstruction, rehabilitation, or restoration will not preclude the structure's continued designation as a Historic Structure and the variance is the minimum necessary to preserve the historic character and design of the structure.
- F. F. Any applicant who meets the criteria of Section 13-609, paragraphs A. through E. shall be notified by the Board of Appeals in writing over the signature of the Chairman of the Board of Appeals that:
1. 1. the issuance of a variance to construct a structure below the base flood level will result in greatly increased premium rates for flood insurance up to amounts as high as \$25 ~~Per per~~ \$100 of insurance coverage; and,
  2. 2. such construction below the base flood level increases risks to life and property; and,
  3. 3. the applicant agrees in writing that the applicant is fully aware of all the risks inherent in the use of land subject to flooding, assumes those risks and agrees to indemnify and defend the municipality against any claims filed against it that are related to the ~~applicant's~~ applicant's decision to use land located in a floodplain and that the applicant individually releases the

municipality from any claims the applicant may have against the municipality that are related to the use of land located in a floodplain.

#### G. Appeal Procedure for Administrative and Variance Appeals

1. An administrative or variance appeal may be taken to the Board of Appeals by an aggrieved party within thirty days after receipt of a written decision of the Code Enforcement Officer or Planning Board.
2. Upon being notified of an appeal, the Code Enforcement Officer or Planning Board, as appropriate, shall transmit to the Board of Appeals all of the papers constituting the record of the decision appealed from.
3. The Board of Appeals shall hold a public hearing on the appeal within thirty-five days of its receipt of an appeal request.
4. The person filing the appeal shall have the burden of proof.
5. The Board of Appeals shall decide all appeals within thirty-five days after the close of the hearing, and shall issue a written decision on all appeals.
6. The Board of Appeals shall submit to the Code Enforcement Officer a report ~~to~~of all variance actions, including justification for the granting of the variance and an authorization for the Code Enforcement Officer to issue a Flood Hazard Development Permit, which includes any conditions to be attached to said permit.
- G. 7. Any aggrieved party who participated as a party during the proceedings before the Board of Appeals may take an appeal to Superior Court in accordance with State laws within forty-five days from the date of any decision of the Board of Appeals.

#### **Sec. 13-610 Enforcement and Penalties.**

- ~~A.~~ A. It shall be the duty of the Code Enforcement Officer to enforce the provisions of this Ordinance pursuant to ~~30A~~Title 30-A MRSA § 4452.
- ~~B.~~ B. The penalties contained in ~~30A~~Title 30-A MRSA § 4452 shall apply to any violation of this ~~ordinance~~Ordinance.
- ~~C.~~ C. In addition to any other actions, the Code Enforcement Officer, upon determination that a violation exists, ~~shall~~may submit a declaration to the Administrator of the Federal Insurance Administration requesting a denial of flood insurance. The valid declaration shall consist of:
  - ~~1.~~ 1. the name of the property owner and address or legal description of the property sufficient to confirm its identity or location;
  - ~~2.~~ 2. a clear and unequivocal declaration that the property is in violation of a cited State or local law, regulation, or ordinance;
  - ~~3.~~ 3. a clear statement that the public body making the declaration has authority to do so and a citation to that authority;



**Certificate of Compliance:** - A document signed by the Code Enforcement Officer stating that a structure is in compliance with all of the provisions of this Ordinance.

**Code Enforcement Officer:** ~~Any - A person or board responsible for performing the inspection, licensing, certified under Title 30-A MRSA, Section 4451 (including exceptions in subsection 4451, paragraph 1) and enforcement duties required~~ employed by a ~~particular statute or ordinance~~ municipality to enforce all applicable ~~comprehensive planning and land use laws and ordinances.~~

**Development:** ~~Means - means any man made change caused by individuals or entities to improved or unimproved real estate, including but not limited to the construction of buildings or other structures; the construction of additions or substantial improvements to buildings or other structures; mining, dredging, filling, grading, paving, excavation, drilling operations or storage of equipment or materials; and the storage, deposition, or extraction of materials, public or private sewage disposal systems or water supply facilities.~~

**Elevated Building:** ~~Means - means~~ a non-basement building:

- (i) ~~a.~~ a. built, in the case of a building in Zones ~~A or A1-30 and A,~~ to have the top of the elevated floor, elevated above the ground level by means of pilings, columns, ~~postposts,~~ piers, or ~~"stilts", shear walls;~~ and,
- (ii) ~~b.~~ b. adequately anchored so as not to impair the structural integrity of the building during a flood of up to one foot above the magnitude of the base flood.

In the case of Zones ~~A or A1-30 and A,~~ Elevated Building also includes a building elevated by means of fill or solid foundation perimeter walls ~~less than three feet in height with~~ with hydraulic openings sufficient to facilitate the unimpeded movement of flood waters, as required in Section 13-606.L.

**Elevation Certificate:** - An official form (FEMA Form 81-31, ~~05/93,~~ as amended) that:

- ~~(i) a.~~ a. is used to verify compliance with the floodplain management regulations of the National Flood Insurance Program; and,
- (ii) ~~b.~~ b. is required for purchasing flood insurance.

**Flood or Flooding:** ~~Means - means:~~

- (a) ~~a.~~ a. A general and temporary condition of partial or complete inundation of normally dry land areas - from:
  - (+) 1. The overflow of inland or tidal waters.
  - (-) 2. The unusual and rapid accumulation or runoff of surface waters from any source.
- (b) ~~b.~~ b. The collapse or subsidence of land along the shore of a lake or other body of water as a result of erosion or undermining caused by waves or currents of water exceeding anticipated cyclical levels or suddenly caused by an unusually high water level in a natural body of water, accompanied by a severe storm, or by an unanticipated force of nature, such as flash flood or an abnormal tidal surge, or by some similarly unusual and unforeseeable event which results in flooding as defined in paragraph (a).~~(1).~~ (1). of this definition.

**Flood Elevation Study:** ~~Means - means~~ an examination, evaluation and determination of flood hazards and, if appropriate, corresponding water surface elevations.

**Flood Insurance Rate Map (FIRM):** ~~Means - means~~ an official map of a community, on which the ~~Administrator of the Federal Insurance Administration~~ ~~Administrator~~ has delineated both the special hazard areas and the risk premium zones applicable to the community.

**Flood Insurance Study:** ~~See - see~~ **Flood Elevation Study.**

**Floodplain or Flood-prone Area:** ~~Means - means~~ any land area susceptible to being inundated by water from any source (see flooding).

**Floodplain Management:** ~~Means - means~~ the operation of an overall program of corrective and preventive measures for reducing flood damage, including but not limited to emergency preparedness plans, flood control works, and floodplain management regulations.

**Floodplain Management Regulations:** ~~Means - means~~ zoning ordinances, subdivision regulations, building codes, health regulations, special purpose ordinances (such as a floodplain ~~Ordinance~~ ~~ordinance~~, grading ordinance, and erosion control ordinance) and other applications of police power. The term describes such state or local regulations, in any combination thereof, which provide standards for the purpose of flood damage prevention and reduction.

~~Flood-proofing:~~ ~~Means~~ **Floodproofing - means** any combination of structural and non-structural additions, changes, or adjustments to structures which reduce or eliminate flood damage to real estate or improved real property, water and sanitary facilities, structures and contents.

**Floodway:** ~~See - see~~ **Regulatory Floodway.**

**Floodway Encroachment Lines:** ~~Means - mean~~ the lines marking the limits of floodways on federal, state, and local floodplain maps.

**Freeboard:** ~~Means - means~~ a factor of safety usually expressed in feet above a flood level for purposes of floodplain management. Freeboard tends to compensate for the many unknown factors, such as wave action, bridge openings, and the hydrological effect of urbanization of the watershed, that could contribute to flood heights greater than the height calculated for a selected size flood and floodway conditions.

**Functionally Dependent Use:** ~~Means - means~~ a use which cannot perform its intended purpose unless it is located or carried out in close proximity to water. The term includes only docking facilities, port facilities that are necessary for the loading and unloading of cargo or passengers, and ship building and ship repair facilities, but does not include long-term storage or related manufacturing facilities.

**Historic Structure:** ~~Means - means~~ any structure that is:

- (a) ~~is~~ Listed individually in the National Register of Historic Places (a listing maintained by the Department of Interior) or preliminarily determined by the Secretary of the Interior as meeting the requirements for individual listing on the National Register;
- (b) ~~is~~ Certified or preliminarily determined by the Secretary of the Interior as contributing to the historical significance of a registered historic district or a district preliminarily determined by the Secretary of the Interior to qualify as a registered historic district;

c). Individually listed on a state inventory of historic places in states with historic preservation programs which have been approved by the Secretary of the Interior; or,

d). Individually listed on a local inventory of historic places in communities with historic preservation programs that have been certified either:

1). By an approved state program as determined by the Secretary of the Interior, or,

2). Directly by the Secretary of the Interior in states without approved programs.

**Locally Established Datum:** ~~Means - means~~, for purposes of this ordinance, an elevation established for a specific site to which all other elevations at the site are referenced. This elevation is generally not referenced to the National Geodetic Vertical Datum (NGVD), North American Vertical Datum (NAVD), or any other established datum and is used in areas where Mean Sea Level data is too far from a specific site to be practically used.

**Lowest Floor:** ~~Means - means~~ the lowest floor of the lowest enclosed area (including basement). An unfinished or flood resistant enclosure, usable solely for parking of vehicles, building access or storage in an area other than a basement area is not considered a building's building's lowest floor, provided that such enclosure is not built so as to render the structure in violation of the applicable non-elevation design requirements described in ~~13-607~~ Article VI.L. of this ordinance.

**Manufactured Home:** ~~Means - means~~ a structure, transportable in one or more sections, which is built on a permanent chassis and is designed for use with or without a permanent foundation when connected to the required utilities. For floodplain management purposes the term manufactured home also includes park trailers, travel trailers, and other similar vehicles placed on a site for greater than 180 consecutive days.

**Manufactured Home Park or Subdivision:** ~~Means - means~~ a parcel (or contiguous parcels) of land divided into two or more manufactured home lots for rent or sale.

**Mean Sea Level:** ~~Means - means~~, for the purposes of the National Flood Insurance Program, the National Geodetic Vertical Datum (NGVD) of 1929, North American Vertical Datum (NAVD), or other datum, to which base flood elevations shown on a community's community's Flood Insurance Rate ~~map~~ Map are referenced.

~~New Construction:~~ Means structures for which the "start of construction" commenced on or after the effective date of **Minor Development** - means all development that is not new construction or a substantial improvement, such as repairs, maintenance, renovations, or additions, whose value is less than 50% of the market value of the structure. It also includes, but is not limited to: accessory structures as provided for in Article VI.J., mining, dredging, filling, grading, paving, excavation, drilling operations, storage of equipment or materials, deposition or extraction of materials, public or private sewage disposal systems or water supply facilities that do not involve structures; and non-structural projects such as bridges, dams, towers, fencing, pipelines, wharves, and piers.

**National Geodetic Vertical Datum (NGVD)** - means the national vertical datum, whose standard was established in 1929, which is used by the National Flood Insurance Program (NFIP). NGVD was based upon mean sea level in 1929 and also has been called "1929 Mean Sea Level (MSL)".

**New Construction** - means structures for which the "start of construction" commenced on or after the effective date of the initial floodplain management regulations adopted by a community and includes any subsequent improvements to such structures.

**North American Vertical Datum (NAVD)** - means the national datum whose standard was established in 1988, which is the new vertical datum used by the National Flood Insurance Program (NFIP) for all new Flood Insurance Rate Maps. NAVD is based upon vertical datum used by other North American countries such as Canada and Mexico and was established to replace NGVD because of constant movement of the earth's crust, glacial rebound and subsidence, and the increasing use of satellite technology.

**100-year flood**: - See - see **Base Flood**.

**Recreational Vehicle**: - Means - means a vehicle which is:

- (a) a. built on a single chassis;
- (b) b. 400 square feet or less when measured at the largest horizontal projection, not including slideouts;
- (c) c. designed to be self-propelled or permanently towable by a light-duty truck motor vehicle; and,
- (d) d. designed primarily not for use as a permanent dwelling but as temporary living quarters for recreational, camping, travel, or seasonal use.

**Regulatory Floodway**: -

(i) a. means the channel of a river or other water course and the adjacent land areas that must be reserved in order to discharge the base flood without cumulatively increasing the water surface elevation more than one foot, and,

in riverine areas

(ii) b. when not designated on the community's Flood Insurance Rate Map, it is considered to be the channel of a river or other water course and the adjacent land areas to a distance of one-half the width of the floodplain, as measured from the normal high water mark to the upland limit of the floodplain.

**Riverine**: - Means - means relating to, formed by, or resembling a river (including tributaries), stream, brook, etc.

**Special Flood Hazard Area**: - See - see **Area of Special Flood Hazard**.

**Start of Construction**: - Means - means the date the building permit was issued, provided the actual start of Construction construction, repair, reconstruction, rehabilitation, addition, placement, substantial improvement or Other other improvement was within 180 days of the permit date. The actual start means either the first Placement placement of permanent construction of a structure on a site, such as the pouring of slab or footings, The the installation of piles, the construction of columns, or any work beyond the stage of excavation;

or the placement of a manufactured home on a foundation. Permanent construction does not include land preparation, such as clearing, grading and filling; nor does it include the installation of streets and/or walkways; nor does it include excavation for basement, footings, piers, or foundations or the erection of temporary forms; nor does it include the installation on the property of accessory buildings, such as garages or sheds not occupied as dwelling units or not part of the main structure. For a substantial improvement, the actual start of construction means the first alteration of any wall, ceiling, floor, or other structural part of a building, or modification of any construction element, whether or not that alteration affects the external dimensions of the building.  
~~part of a building, whether or not that alteration affects the external dimensions of the building.~~

**Structure:** ~~Means - means~~, for floodplain management purposes, a walled and roofed building. A gas or liquid storage tank that is principally above ground is also a structure.

**Substantial Damage:** ~~Means - means~~, damage of any origin sustained by a structure whereby the cost of restoring the structure to its before damage condition would equal or exceed 50 percent of the market value of the structure before the damage occurred.

**Substantial Improvement:** ~~Means - means~~ any reconstruction, rehabilitation, addition, or other improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure before the start of construction of the improvement. This term includes structures which have incurred substantial damage, regardless of the actual repair work performed. The term does not, however, include ~~the~~either:

— (1)a. Any project for improvement of a structure to correct existing violations of state or local health, ~~sanitary, or safety code specifications which have been identified by the local code enforcement official and which are the minimum necessary to assure safe living conditions; or, sanitary, or safety code specifications which have been identified by the local Code~~

~~Enforcement Official and which are the minimum necessary to assure safe living conditions; or~~

(2)

b. Any alteration of ~~historic structure~~a Historic Structure, provided that the alteration will not preclude the ~~structure's~~

~~structure's~~ continued designation as a historic structure, and a variance is obtained from the community's Board of Appeals.

**Variance:** ~~Means - means~~ a grant of relief by a community from the terms of a floodplain management regulation.

**Violation:** ~~Means - means~~ the failure of a structure or development to comply with a ~~community's~~community's floodplain management regulations.

## Sec. 13-614 Abrogation

This ordinance repeals and replaces any municipal ordinance previously enacted to comply with the National Flood Insurance Act of 1968 (P.L. 90-488, as amended).

